

LOCUS MAP
SCALE: 1" = 1000'

SITE DEVELOPMENT PLAN SET

STEVENS MILL REDEVELOPMENT

20 CANAL STREET

FRANKLIN, NH 03235

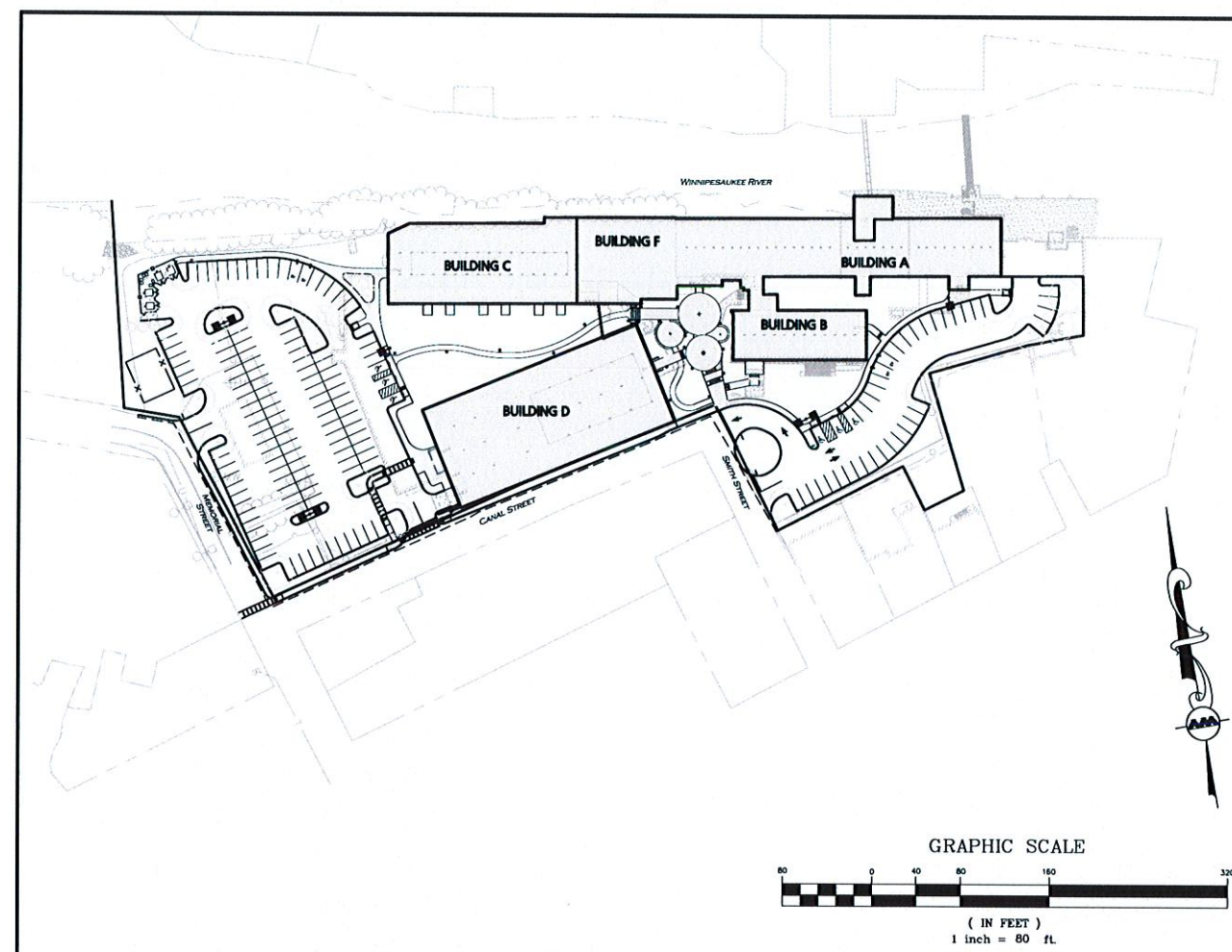
APPLICANT/ARCHITECT:
STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857
(603) 868-5995

CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
(603) 627-5500

ARCHITECT:
LASSEL ARCHITECTS
370 MAIN STREET
SOUTH BERWICK, ME 03908
(207) 384-2049

LANDSCAPE ARCHITECT:
G2+1 LLC
70 NEW ROAD
SAILSBURY, NH 03268
(603) 648-634

LAND SURVEYOR:
DOUCET SURVEY INC
2 COMMERCE DRIVE
BEDFORD, NH 03110
(603) 614-4060



LIST OF DRAWINGS

DRAWING TITLE	SHEET	ISSUED	REVISED
EXISTING CONDITIONS PLAN	1 OF 4	01/29/2019	-
EXISTING CONDITIONS PLAN	2 OF 4	01/29/2019	-
EXISTING CONDITIONS PLAN	3 OF 4	01/29/2019	-
EXISTING CONDITIONS PLAN	4 OF 4	01/29/2019	-
SITE PREPARATION PLAN	C-101	10/06/2020	-
LAYOUT & MATERIALS PLAN	C-102	10/06/2020	-
GRADING & DRAINAGE PLAN	C-103	10/06/2020	-
SPOT GRADE PLAN	C-103A	10/06/2020	-
SPOT GRADE PLAN	C-103B	10/06/2020	-
UTILITIES PLAN	C-104	10/06/2020	-
EROSION CONTROL PLAN	C-105	10/06/2020	-
DETAILS	C-501	10/06/2020	-
DETAILS	C-502	10/06/2020	-
DETAILS	C-503	10/06/2020	-
DETAILS	C-504	10/06/2020	-
LANDSCAPE PLAN	LA-1.0	10/02/2020	-
LANDSCAPE PLAN	LA-1.1	10/02/2020	-
LANDSCAPE PLAN	LA-1.2	10/02/2020	-
LANDSCAPE PLAN & PLANTING NOTES	LA-1.3	10/02/2020	-
LANDSCAPE PLAN PRIVATE PATIOS	LA-1.4	10/02/2020	-
COURTYARD LANDSCAPE PLAN & DETAILS	LA-2.0	10/02/2020	-
PLANT SCHEDULES	LA-3.0	10/02/2020	-
SITE LIGHTING PLAN	E-101	10/06/2020	-



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

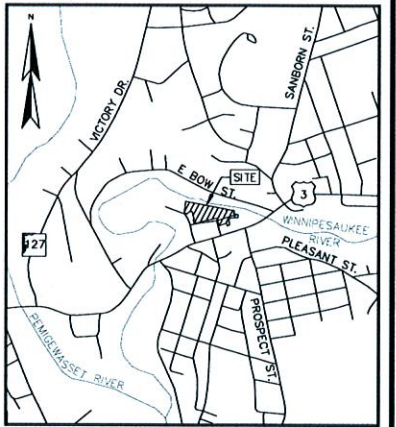
DATE OF APPROVAL _____

PREPARED BY:

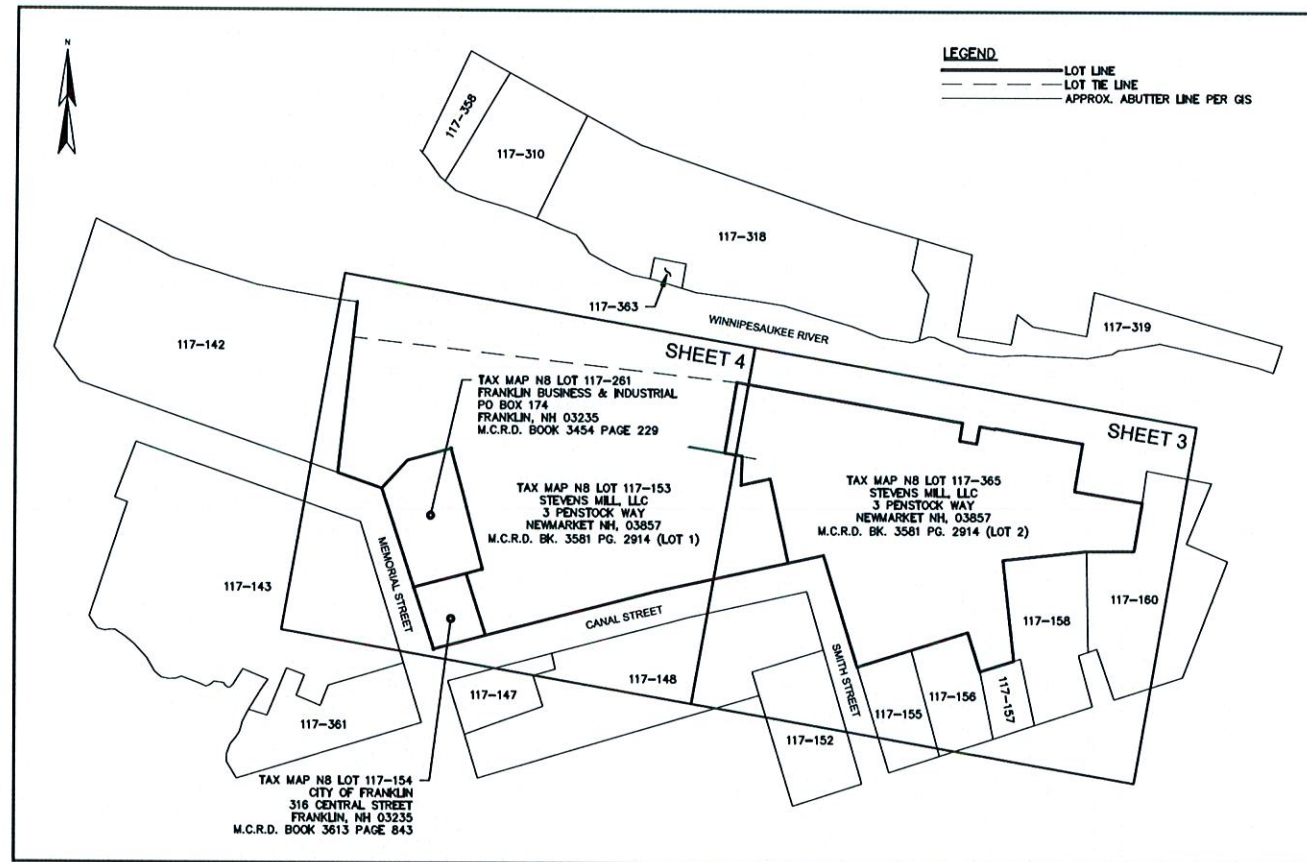
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying environmental
consulting • landscape architecture
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ISSUED FOR SITE PLAN REVIEW: OCTOBER 06, 2020



LOCATION MAP (n.l.s.)



MAP KEY

ABUTTERS LIST:

TAX MAP N8 LOT 117-142
FERRARI FRANKLIN MILLS REALTY
LOUIS & CAROLYN FERRARI, TRUSTEES
18 BROADWAY
STONEHAM, MA 02180
M.C.R.D. BOOK 3467 PAGE 2235

TAX MAP N8 LOT 117-143
FRANKLIN LIGHT AND POWER LTD PART
c/o CATCH HOUSING
105 LOUDON RD-UNIT 1
CONCORD, NH 03301
M.C.R.D. BOOK 3508 PAGE 297

TAX MAP N8 LOT 117-147
CITY OF FRANKLIN
316 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 3614 PAGE 2947

TAX MAP N8 LOT 117-148
CITY OF FRANKLIN
316 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 1154 PAGE 391

TAX MAP N8 LOT 117-152
CITY OF FRANKLIN
316 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 2151 PAGE 395

TAX MAP N8 LOT 117-155
IFA REALTY HOLDINGS-FRANKLIN
c/o PERMACITYLIFE
361 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 3602 PAGE 2856

TAX MAP N8 LOT 117-156
IFA REALTY HOLDINGS-FRANKLIN
c/o PERMACITYLIFE
361 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 3602 PAGE 2859

TAX MAP N8 LOT 117-157
GREMAR, LLC
15 LIBERTY AVENUE
FRANKLIN, NH 03235
M.C.R.D. BOOK 1943 PAGE 433

TAX MAP N8 LOT 117-158
JOSE O. & ANN DOMINGUEZ
25 CORN HILL ROAD
BOSSAWEN, NH 03303
M.C.R.D. BOOK 2515 PAGE 1607

TAX MAP N8 LOT 117-160
TRESTLE VIEW PROPERTIES, LLC
440 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 2383 PAGE 1051

TAX MAP N8 LOT 117-310
BARBUTO REVOCABLE TRUST
DAVID BARBUTO TRUSTEE
515 WEST MAIN STREET
TILTON, NH 03276
M.C.R.D. BOOK 2145 PAGE 1680

TAX MAP N8 LOT 117-318
CITY OF FRANKLIN
316 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 2182 PAGE 1431

TAX MAP N8 LOT 117-319
FRANKLIN POWER, LLC
c/o EAGLE CREEK RENEWAL ENERGY
PO BOX 167
NESHKORO, WI 54960
M.C.R.D. BOOK 3394 PAGE 844

TAX MAP N8 LOT 117-358
CITY OF FRANKLIN
316 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 3563 PAGE 177

TAX MAP N8 LOT 117-361
FRANKLIN POWER, LLC
c/o EAGLE CREEK RENEWAL ENERGY
PO BOX 167
NESHKORO, WI 54960
M.C.R.D. BOOK 2338 PAGE 1300

TAX MAP N8 LOT 117-363
CITY OF FRANKLIN
316 CENTRAL STREET
FRANKLIN, NH 03235
M.C.R.D. BOOK 3563 PAGE 178



100 0 100 200
SCALE: 1 INCH = 100 FT.

EXISTING CONDITIONS PLAN
FOR
CHINBURG BUILDERS, INC.
OF
FRANKLIN BUSINESS CENTER
TAX MAP N8 LOTS 117-153, 117-365,
117-261 & 117-154
SMITH, CANAL, & MEMORIAL STREET
FRANKLIN
MERRIMACK COUNTY
NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
1	09/03/20	ADDED BOUNDARY/UTILITY/FEMA INFO	B.T.

DRAWN BY:	W.D.C.	DATE:	JANUARY 29, 2019
CHECKED BY:	M.J.C.	DRAWING NO.:	5482B
JOB NO.:	5482	SHEET	1 OF 4



Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

NOTES:

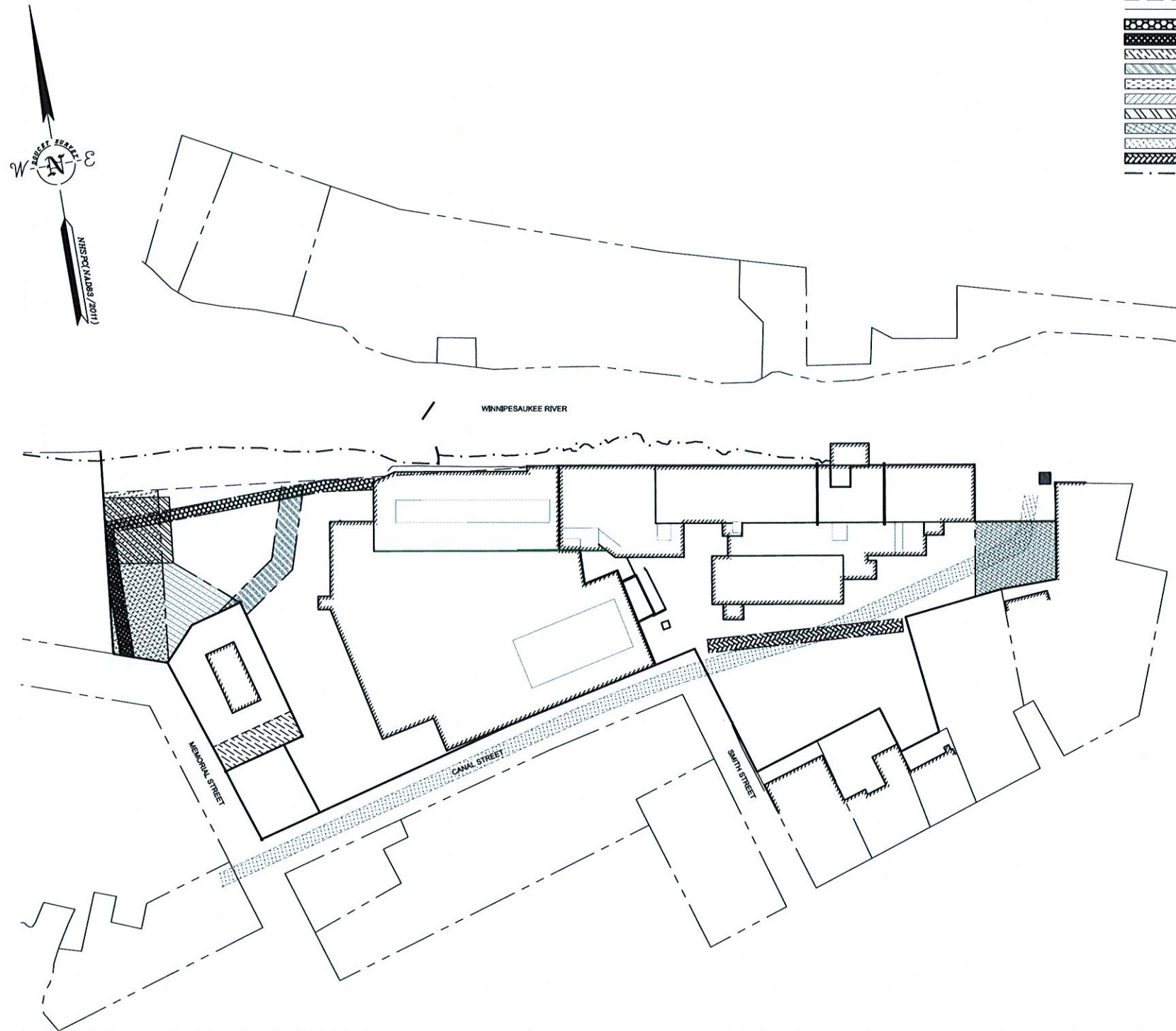
1. REFERENCE: FRANKLIN BUSINESS CENTER
2. FIELD SURVEY PERFORMED BY E.J.S. & P.J.M. DURING MARCH & APRIL 2018 USING A TRIMBLE S7 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DNI DIGITAL AUTO LEVEL. ADDITIONAL FIELD SURVEY PERFORMED BY J.M.L. & J.C.M. & D.L. IN OCTOBER 2018 USING A TRIMBLE S6 TOTAL STATION WITH TRIMBLE TSC3 DATA COLLECTOR. ADDITIONAL FIELD SURVEY PERFORMED BY P.C.L. DURING AUGUST 2020 USING A TRIMBLE S5 TOTAL STATION. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARES ANALYSIS.
3. ADDITIONAL FIELD SURVEY PERFORMED BY M.J.C. IN MARCH & APRIL 2018 USING A LEICA HDS SCANNER. REGISTRATION ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
4. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE (2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
5. VERTICAL DATUM IS BASED ON NAVD88 PER NGS BENCHMARKS: K-13-USGS-1925 (PUBLISHED NAVD88 ELEVATION=334.20 FT) AND X-3-1933 (PUBLISHED NAVD88 ELEVATION=332.85).
6. PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
7. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
8. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
9. ALL ELECTRIC, GAS, TEL, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
10. DEED MCRD 3581-2914 (SHEET 7 ITEM (d)) REFERS TO RIGHTS RESERVED BY PSNH IN DEED 949-448. DEED 949-448 (SHEET 4 ITEM (d)) CALLS FOR AN EASEMENT THAT BEGINS NLY OF THE RIVER AND EXTENDS SLY THROUGH POLES 234/1, 234/1A, 234/2, 234/2A, 234/3, OUT TO POLE 234/4 ON THE WESTERLY SIDE OF MEMORIAL STREET, AND CONTINUING SLY FROM THERE.
11. SEE DEED 3581-2914 (SHEET 5 PARAGRAPH 2) AND REFERENCE PLAN 1 FOR DETAILS ON 50' WIDE UTILITY & RIVER ACCESS EASEMENT
12. SEE REF. PLAN 4 AND MCRD DEED 1996-461 FOR DETAILS ON PARKING EASEMENT AND ACCESS TO PARKING EASEMENT (BENEFITTING LOT 117-261). NOTE THAT THE SOMEWHAT TRIANGULAR-SHAPED NON EXCLUSIVE EASEMENT AREA SHOWN HEREON IS DESCRIBED IN SAID DEED BUT IS NOT ILLUSTRATED ON SAID PLAN.
13. SEE REFERENCE PLAN 4 AND MCRD DEED 1996-461 (SHEET 1 PARAGRAPH 5) FOR DETAILS ON ACCESS EASEMENT RESERVED ACROSS LOT (117-261) BENEFITTING LOT (117-153).
14. APPROXIMATE LOCATION OF BURIED PENSTOCK SHOWN HERE PER REFERENCE PLANS 1, 2, 4, AND 5. REFER ALSO TO MCRD DEED 1475-687 FOR A PERMANENT EASEMENT FROM THE CITY OF FRANKLIN TO FRANKLIN INDUSTRIAL COMPLEX, INC. 30 FEET IN WIDTH ALONG THE ENTIRE LENGTH OF CANAL STREET (AND BEYOND) FOR THE PENSTOCK. NOTE THAT THE DEED STATES IT IS UNDERSTOOD BY THE PARTIES THAT THE 30 FEET WIDTH OF THE EASEMENT GRANTED ENCOMPASSES THE FULL WIDTH OF THE CANAL STREET RIGHT-OF-WAY. SEE ALSO MCRD DEED 1861-1075 FOR ADDITIONAL RIGHTS AND EASEMENTS ASSOCIATED WITH THE PENSTOCK.
15. FOR CANAL STREET, SEE ALSO DEED MCRD 369-330 WHICH CONVEYS A TRACT OF LAND TOGETHER WITH THE FEE OF SAID CANAL STREET TO THE MIDDLE THEREOF AND THE RIGHT TO USE SAID STREET AS NOW USED...
16. SEE MCRD DEED 1910-198 FOR DETAILS ON 12' WIDE UTILITY EASEMENT BEGINNING AT A POINT ON NLY SIDE OF MEMORIAL ST ACROSS FROM PSNH POLE #234/1 LOCATED ON THE SLY SIDE OF THE ROAD, AND THEN EXTENDING NLY 150 FT +/- TO PSNH POLE #234/2.
17. SEE MCRD DEED 1510-962 FOR DETAILS ON 10-FOOT WIDE UTILITY EASEMENT ENCOMPASSING POLES 234/2 AND 234/2-1.
18. SEE MCRD DEEDS 1347-45 AND 1350-655 FOR DETAILS ON A 20-FOOT WIDE SEWER EASEMENT RESEMBLING THE CONFIGURATION SHOWN HEREON. NOTE ALSO THAT MCRD DEED 1345-403 DESCRIBES A 20-FOOT SEWER EASEMENT WITH A SLIGHTLY DIFFERENT CONFIGURATION THAT DOES NOT APPEAR TO CORRESPOND WITH THE LOCATIONS OF THE SMH STRUCTURES LOCATED FOR THIS SURVEY.
19. SEE MCRD DEED 3581-2914 (SHEET 7): SUBJECT PROPERTY INCLUDES THE PORTIONS OF THE BUILDING ABOVE THIS BASEMENT-LEVEL POWER HOUSE #1 THAT ARE AT ELEVATIONS GREATER THAN 317.69 FEET (NGVD29). NOTE THAT THIS ELEVATION EQUATES TO 317.20 FEET NAVD88 (REFER TO NOTE 5 HEREON). THE BASEMENT-LEVEL SPACE IN THE POWER HOUSE #1 PART OF THE BUILDING (ANY PORTIONS AT OR BELOW ELEVATION 317.69 FEET NGVD29) WERE NOT CONVEYED AS PART OF THE LOCUS PROPERTY IN DEED 3581-2914. SEE ALSO ABOVE REFERENCED DEED (SHEET 5 NOTE 4) DESCRIBING PERMANENT RIGHT AND EASEMENT TO PASS & REPASS OVER THE PREMISES AND BUILDINGS... FOR REASONABLE ACCESS TO GENERATOR ROOMS AND OTHER PORTIONS OF SAID HYDRO-ELECTRIC FACILITY... SEE ALSO REFERENCE PLAN 1.
20. MCRD DEED 3581-2914 DESCRIBES SEVERAL RIGHTS ASSOCIATED WITH THE DAM AND THE WATER, INCLUDING THE RIGHT OF OTHERS TO ENTER, REPAIR, AND MAINTAIN THE DAM & FOOTBRIDGE. SAME DEED SHEET (SHEET 7 ITEM (b)) REFERS TO RIGHTS & EASEMENTS GRANTED IN MCRD DEED 469-1 WHICH PERMIT OTHERS TO INSTALL 2-FOOT HIGH FLASHBOARDS TO RAISE THE LEVEL OF WATER IMPOUNDED BY THE DAM. ADDITIONAL REFERENCES TO THE DAM & WATER PRIVILEGE & FLOWAGE RIGHTS ARE FOUND IN MCRD DEEDS 1475-691, 344-320 AND 949-448.
21. MCRD DEED 3581-2914 (SHEET 5, PARAGRAPH 2) DESCRIBES THE PERMANENT RIGHT TO DRAW WATER FROM THE RIVER AT TWO POINTS IN ORDER TO CONVEY WATER THROUGH THE PENSTOCKS. SEE ALSO REFERENCE PLAN 1.
22. MCRD DEED 1996-459 CONVEYS AN EMERGENCY ACCESS EASEMENT FROM SMITH STREET BENEFITTING LOT 117-160. SAID EASEMENT USES THE EXISTING ROADWAY GENERALLY DEPICTED AS THE AREA SHOWN AS THE UNDERGROUND PENSTOCK ON REFERENCE PLAN 4.
23. MCRD DEED 3581-2914 (SHEET 5 NOTE 5) DESCRIBES RIGHTS TO A PARKING EASEMENT (BENEFITTING THE HYDRO-ELECTRIC FACILITY) IN THIS AREA, AS WELL AS RIGHTS OF INGRESS & EGRESS BETWEEN THIS AREA AND SMITH STREET.
24. MCRD DEED 3581-2914 DESCRIBES THE DIVISION LINE BETWEEN LOTS 1 & 2 (NOW TAX MAP N8 LOT 117-153 AND TAX MAP N8 LOT 117-365 RESPECTIVELY) AS BEING ALONG THE PARTY WALL BETWEEN THE SEPARATE MILL BUILDINGS. COURSES SHOWN HEREON DIFFER SLIGHTLY FROM THOSE CALLED FOR IN THE DEED. THE COURSES SHOWN HEREON WERE DERIVED FROM DATA OBTAINED FROM OUR 3D LASER SCAN SURVEYS DONE INSIDE THE BUILDING ALONG THOSE PARTY WALLS.
25. THIS BUMP-OUT AREA IS SHOWN AS PART OF THE LOCUS PROPERTY ON REFERENCE PLANS 4 & 5, BUT IT IS NOT SHOWN AS PART OF THE LOCUS ON REF. PLANS 1 & 2. FOR DESCRIPTION OF THIS PARCEL IN THE CHAIN OF TITLE TO THE LOCUS PROPERTY, REFER TO MCRD DEED 1353-248 (SHEET 1, TRACT 4) WHICH IN TURN REFERS TO MCRD 383-493 (WHICH DESCRIBES JUST THIS PARCEL).
26. MCRD DEED 1910-196 DESCRIBES A 12-FOOT WIDE UTILITY EASEMENT FROM POLE 237/3 TO POLE 237/3-1A.
27. THIS IS NOT A TITLE REPORT. OTHER RIGHTS MAY EXIST.
28. PARCELS SHOWN FALL WITHIN ZONES "X" & "AE" (WITH BASE FLOOD ELEVATIONS) PER FIRM MAP #3301300159E DATED APRIL 19, 2010.

REFERENCE PLANS:

1. "PROPOSED SUBDIVISION - FRANKLIN INDUSTRIAL COMPLEX" DATED FEB. 6, 1986 BY J.R. BLAIS ASSOCIATES. MCRD PLAN 8915
2. "IMPROVEMENTS PLAN PREPARED FOR FRANKLIN INDUSTRIAL COMPLEX, INC. HYDRO-ELECTRIC FACILITY FRANKLIN, NEW HAMPSHIRE" DATED DECEMBER 26, 1990 BY TF MORAN, INC. MCRD PLAN 12116
3. "BOUNDARY SURVEY FOR ROBERT GREYOR CENTRAL ST. FRANKLIN, N.H. MERRIMACK COUNTY" DATED 10 SEPT 1991 BY RICHARD L. LEPDIE & ASSOCIATES. MCRD PLAN 12305
4. "SUBDIVISION & CONSOLIDATION PLAN MAP 117, LOTS 153 & 160, FRANKLIN INDUSTRIAL COMPLEX FRANKLIN, NH" DATED JUNE 23, 1993 AND LAST REVISED (REV. 2) ON 10/12/93 BY TF MORAN INC. MCRD PLAN 13017
5. "TAX MAP 001-117, LOT 153 SUBDIVISION PLAN FOR SOUTHEASTERN PROPERTIES, INC. 20 CANAL STREET, FRANKLIN, MERRIMACK COUNTY, NEW HAMPSHIRE" DATED AUGUST 7, 1998 AND REVISED SEPTEMBER 16, 1998 BY LEPDIE ENGINEERING & SURVEYING. MCRD PLAN 14558
6. "MAP 117, LOT 143 RESTRICTED AREA PLAN FOR EDWARD J. FORSTER 100 MEMORIAL STREET MERRIMACK CO. FRANKLIN, N.H." DATED MAY 26, 2006 BY DAVID B. KRAUSE, LLS. MCRD 18113.

LEGEND

- LOT LINE
- LOT TIE LINE
- APPROX. ABUTTER LINE PER GIS
- 10' UTILITY EASEMENT (SEE NOTE 17)
- 12' UTILITY EASEMENT (SEE NOTE 16)
- ACCESS EASEMENT (SEE NOTE 13)
- 20' SEWER EASEMENT (SEE NOTE 18)
- 50' UTILITY & RIVER ACCESS EASEMENT (SEE NOTE 11)
- ACCESS TO PARKING EASEMENT (SEE NOTE 12)
- PARKING EASEMENT (SEE NOTE 12)
- PARKING EASEMENT (SEE NOTE 23)
- UNDERGROUND PENSTOCK (SEE NOTES 14 & 22)
- 12' UTILITY EASEMENT (SEE NOTE 26)
- APPROX. EDGE OF RIVER



SCALE: 1 INCH = 60 FT.

EXISTING CONDITIONS PLAN
FOR
CHINBURG BUILDERS, INC.
OF
FRANKLIN BUSINESS CENTER
TAX MAP N8 LOTS 117-153, 117-365,
117-261 & 117-154
SMITH, CANAL, & MEMORIAL STREET
FRANKLIN
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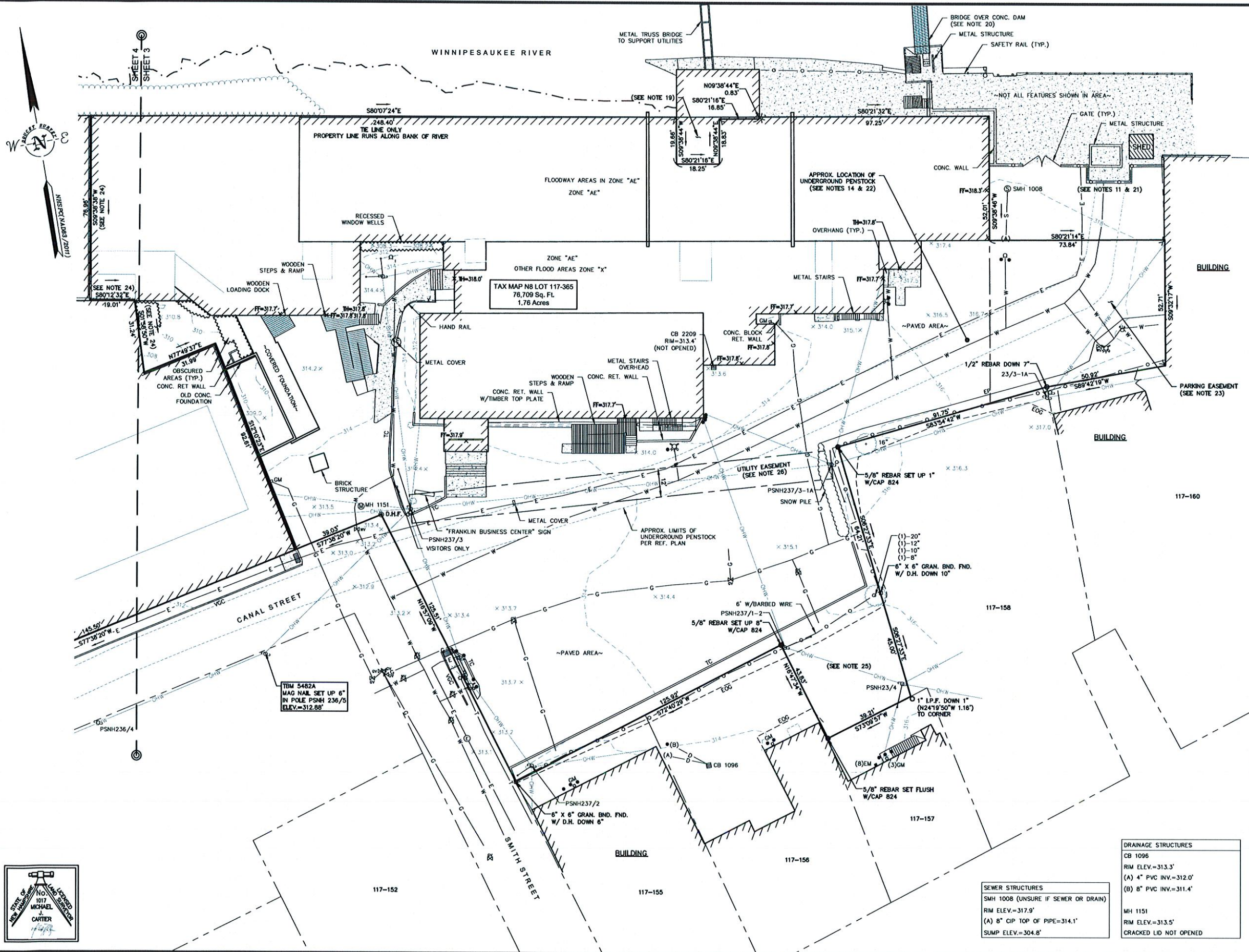
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DRAWN BY:	W.D.C.	DATE:	JANUARY 29, 2019
CHECKED BY:	M.J.C.	DRAWING NO.:	5482B
JOB NO.:	5482	SHEET	2 OF 4



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10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
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EASEMENT DETAIL



LEGEND

- LOT LINE
- APPROX. ABUTTERS LOT LINE (PER GIS)
- TIE LINE FOR BOUNDARY
- EXISTING EASEMENT LINE
- APPROX. EDGE OF RIVER
- CHAIN LINK FENCE
- QUADRAIL
- OVERHEAD WIRE
- SEWER LINE
- DRAIN LINE
- GAS LINE
- WATER LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELECOMMUNICATIONS LINE
- APPROX. LIMITS OF BURIED PENSTOCK
- TREE LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- RECESSED OR INACCESSIBLE AREAS
- NOT VISIBLE IN SCAN DATA
- CONCRETE
- RIP RAP
- UTILITY POLE
- UTILITY POLE & GUY WIRE
- UTILITY POLE W/LIGHT
- SIGN
- BOUND FOUND
- DRILL HOLE FOUND
- IRON PIPE/ROD FOUND
- RAILROAD SPIKE FOUND
- BOLLARD
- 5/8" REBAR W/10 CAP SET
- FIRE HYDRANT
- DRY HYDRANT
- WATER GATE VALVE
- PRESSURE INDICATOR VALVE
- GAS GATE VALVE
- ELECTRIC METER
- ELECTRIC MANHOLE
- CATCH BASIN
- MANHOLE
- SEWER MANHOLE
- DECIDUOUS TREE
- DECIDUOUS BUSH
- BORING LOCATION
- MONITORING WELL LOCATION
- TYP.
- BND. FND.
- D.H.F.
- I.P.F.
- R.S.F.
- CONC.
- FF
- TH
- EP
- EOG
- VOC
- TC
- DVL
- EM
- GM
- X 100.0

SCALE: 1 INCH = 20 FT.

EXISTING CONDITIONS PLAN
FOR
CHINBURG BUILDERS, INC.
OF
FRANKLIN BUSINESS CENTER
TAX MAP N8 LOTS 117-153, 117-165,
117-261 & 117-154
SMITH, CANAL, & MEMORIAL STREET
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DRAINAGE STRUCTURES
CB 1096
RIM ELEV.=313.3'
(A) 4" PVC INV.=312.0'
(B) 8" PVC INV.=311.4'

MH 1151
RIM ELEV.=313.5'
CRACKED LID NOT OPENED

SEWER STRUCTURES
SMH 1008 (UNSURE IF SEWER OR DRAIN)
RIM ELEV.=317.9'
(A) 8" CIP TOP OF PIPE=314.1'
SUMP ELEV.=304.8'



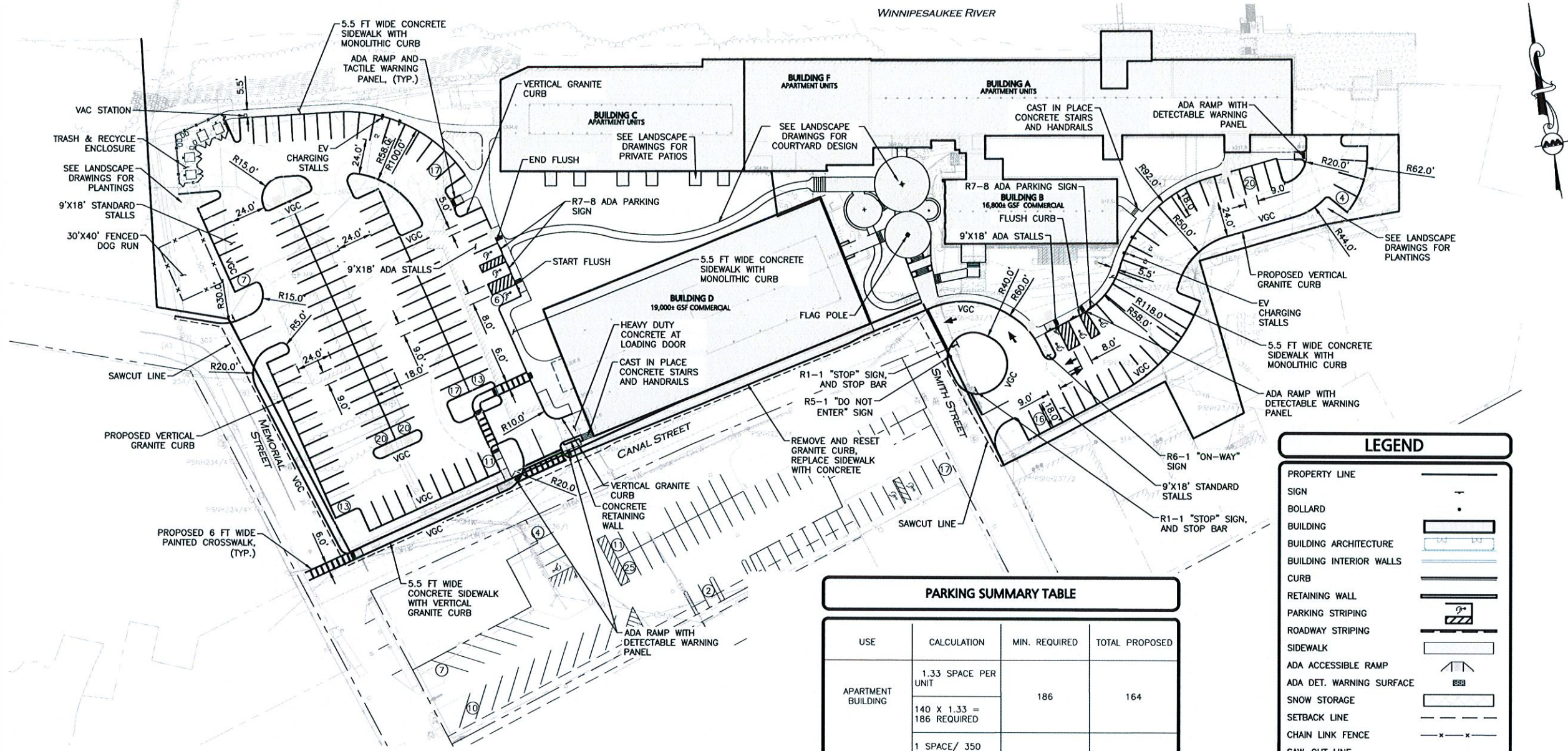


GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

DRAWING TITLE:	SHEET No.
SITE PREPARATION PLAN	C-101

R:\PROJECTS\2748-02\CIVIL\DRAWINGS\CURRENT\C-2748-02_LAYOUT & MATERIALS.DWG



ZONING SUMMARY TABLE
HIGH DENSITY BUSINESS AND COMMERCIAL DISTRICT (B2)

ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	NR	NR	NR
MINIMUM FRONTAGE	75 FT	432.9± FT CANAL	432.9± FT CANAL
MINIMUM FRONT YARD DEPTH	20 FT	0 FT (2)	0 FT (2)
MINIMUM SIDE YARD WIDTH	NR	NR	NR
MINIMUM DEPTH FROM BUILDING TO REAR LOT LINE	20 FT	0 FT (2)	0 FT (2)
MAXIMUM BUILDING HEIGHT	35 FT	60± FT	60± FT

ZONING TABLE NOTES:
1. SECTION 305-22. DOWNTOWN REVITALIZATION DISTRICT, F. PERMITTED USES.
MULTI-FAMILY UNITS REQUIRE SUP. SPECIAL USE PERMIT FROM THE PLANNING BOARD.
2. EXISTING BUILDINGS ARE TO BE RENOVATED AND PORTIONS OF THE EXISTING
STRUCTURES REMOVED. THESE ARE EXISTING NON-CONFORMING STRUCTURES TO
REMAIN.

PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	1.33 SPACE PER UNIT 140 X 1.33 = 186 REQUIRED	186	164
COMMERCIAL/ BUSINESS	1 SPACE/ 350 GSF 35,800 GSF/ 350	102	77 (MUNICIPAL) ⁽³⁾ 164 = 54 (4) TOTAL = 131

ADA SPACES REQUIRED:
(151-200) TOTAL PARKING SPACES PROVIDED, 6 SHALL BE THE MINIMUM
ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.

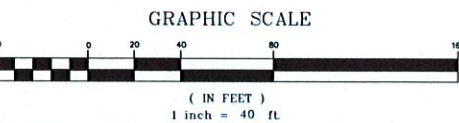
PROVIDED 6 ADA SPACE, 2 SPACES BEING VAN ACCESSIBLE.

- PARKING TABLE NOTES:**
- SECTION 305-22. DOWNTOWN REVITALIZATION DISTRICT, L. PARKING, (1) FOR ANY BUILDING WITH
RESIDENTIAL UNITS, A MINIMUM OF 1 1/3 PARKING SPACES PER UNIT IS REQUIRED.
 - SECTION 305-22. DOWNTOWN REVITALIZATION DISTRICT, L. PARKING, (3) THROUGH THE SPECIAL USE
PERMIT PROCESS, THE OWNER/APPLICANT MAY REQUEST A REDUCTION IN THE MINIMUM NUMBER OF
REQUIRED SPACES. SUCH A REQUEST SHALL BE ACCOMPANIED WITH DATA ON THE NUMBER AND SIZE
OF THE RESIDENTIAL UNITS, HISTORIC EXPERIENCE & EVIDENCE DESCRIBING PARKING NEEDS FOR
SIMILAR MILL REDEVELOPMENT PROJECTS, LEASE LANGUAGE ON LIMITS ON THE NUMBERS OF VEHICLES
PER SPECIFIC UNITS, OR OTHER INFORMATION OR DATA DEEMED APPROPRIATE BY THE DEVELOPER.
 - SECTION 305-22. DOWNTOWN REVITALIZATION DISTRICT, L. PARKING, (4) PARKING REQUIREMENTS FOR
ANY NON-RESIDENTIAL USES SHALL CONFORM TO 1 PARKING SPACE FOR EVERY 350 SQUARE FEET OF
COMMERCIAL / BUSINESS USE. WHERE MUNICIPAL PARKING (NOT INCLUDING ANY OVER-NIGHT PARKING)
IS AVAILABLE WITHIN 400 FEET OF THE PROPOSED USE, THEN THESE MUNICIPAL SPACES MAY BE
COUNTED TOWARDS THE TOTAL NUMBER OF NON-RESIDENTIAL SPACES REQUIRED. THE PLANNING
BOARD RESERVES THE RIGHT TO DEVIATE FROM THE PARKING REQUIREMENTS IN THE ZONING ORDINANCE
BASED ON A REVIEW AND APPROVAL OF A SITE PLAN OR SUP AND TAKING INTO ACCOUNT PROJECT
SPECIFIC ISSUES AND CIRCUMSTANCES.
 - SECTION 305-22. DOWNTOWN REVITALIZATION DISTRICT, L. PARKING, (6) THE PRECEDING SUBSECTION
NOTWITHSTANDING, THE OWNER/DEVELOPER OF A MULTI-USE BUILDING CONTAINING BOTH RESIDENTIAL
AND NONRESIDENTIAL USES MAY UTILIZE UP TO 1/3 OF THE PARKING SPACES REQUIRED FOR THE
RESIDENTIAL COMPONENT TOWARDS THE REQUIRED NUMBER OF NONRESIDENTIAL SPACES.

LEGEND

PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Hatched Box]
BUILDING ARCHITECTURE	[Line Style]
BUILDING INTERIOR WALLS	[Line Style]
CURB	---
RETAINING WALL	[Hatched Box]
PARKING STRIPING	[Line Style]
ROADWAY STRIPING	[Line Style]
SIDEWALK	---
ADA ACCESSIBLE RAMP	[Line Style]
ADA DET. WARNING SURFACE	[Line Style]
SNOW STORAGE	[Line Style]
SETBACK LINE	---
CHAIN LINK FENCE	---
SAW-CUT LINE	---
HEAVY DUTY CONCRETE	[Line Style]
TRANSFORMER	[Symbol]
PARKING COUNT	(10)

- NOTES**
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE
OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE
CAUTION WHEN SCALING REPRODUCED PLANS. IN THE
EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND
ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR
CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE
CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND
AS BUILT BY A LICENSED LAND SURVEYOR.
 - FOR MORE INFORMATION ABOUT THIS SITE PLAN,
CONTACT BRIAN JONES AT ALLEN & MAJOR ASSOCIATES.
(603) 627-5500.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE
PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS
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ALTERATION, MISUSE, OR RECALCULATION OF
INFORMATION OR DATA WITHOUT THE EXPRESSED,
WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC.
IS STRICTLY PROHIBITED.
 - SNOW IS TO BE REMOVED FROM THE SITE WHEN THERE
IS NOT SUFFICIENT SPACE ON SITE OR WHEN THERE
WILL NOT BE SUFFICIENT SPACE IN THE EVENT OF
EXCESSIVE SNOW FALL.



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

BRIAN D. JONES
No. 13899
PROFESSIONAL ENGINEER
10.06.20

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1	10-06-2020	ISSUED FOR SITE PLAN REVIEW
REV	DATE	DESCRIPTION

APPLICANT/OWNER:
STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:
**STEVENS MILL
REDEVELOPMENT**
20 CANAL STREET
FRANKLIN, NH 03235

PROJECT NO. 2748-02 DATE: 10-06-2020

SCALE: 1" = 40' DWG. NAME: C-2748-02

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:

**ALLEN & MAJOR
ASSOCIATES, INC.**
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: **LAYOUT & MATERIALS** SHEET NO. **C-102**

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PLAN NOTES:

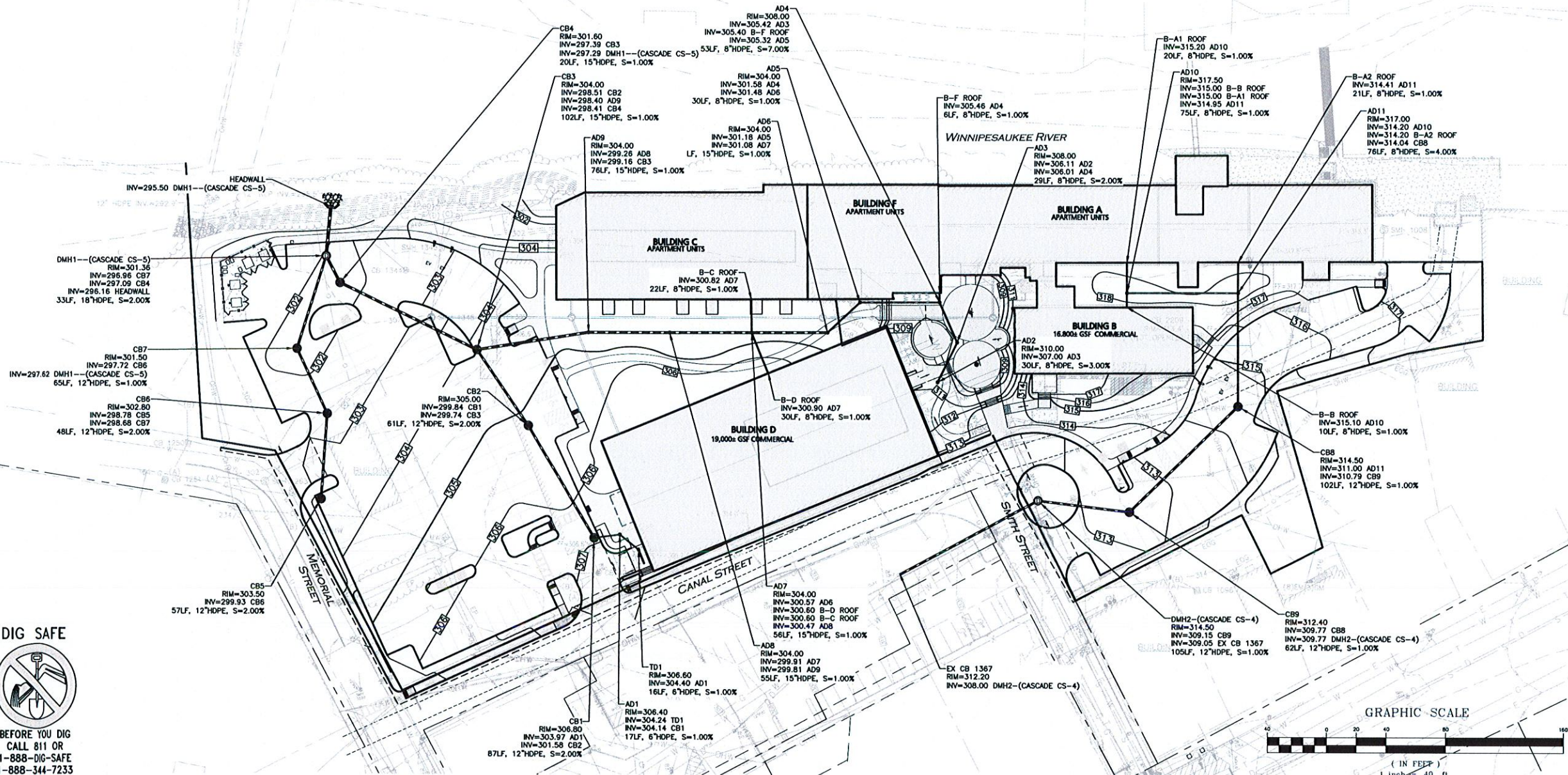
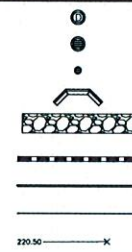
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITY CONNECTIONS SHOULD BE COORDINATED WITH THE MEP PRIOR TO CONSTRUCTION.
3. EXISTING DRAINAGE STRUCTURES TO REMAIN ARE TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
4. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
5. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
6. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
7. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR THE FINAL LOCATIONS OF PROPOSED ROOF DRAINS. LOCATIONS ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY.

8. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
9. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
10. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
12. ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
13. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF FRANKLIN, NHDOT, NHDES, MUTCD, AND ASHTO.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
16. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

LEGEND

DRAIN MANHOLE
CATCH BASIN
AREA DRAIN
HEADWALL
RIPRAP OUTFALL
DRAIN LINE
5' CONTOUR
1' CONTOUR
SPOT GRADE



DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	10-06-2020	ISSUED FOR SITE PLAN REVIEW

APPLICANT/OWNER:
STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:
STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235

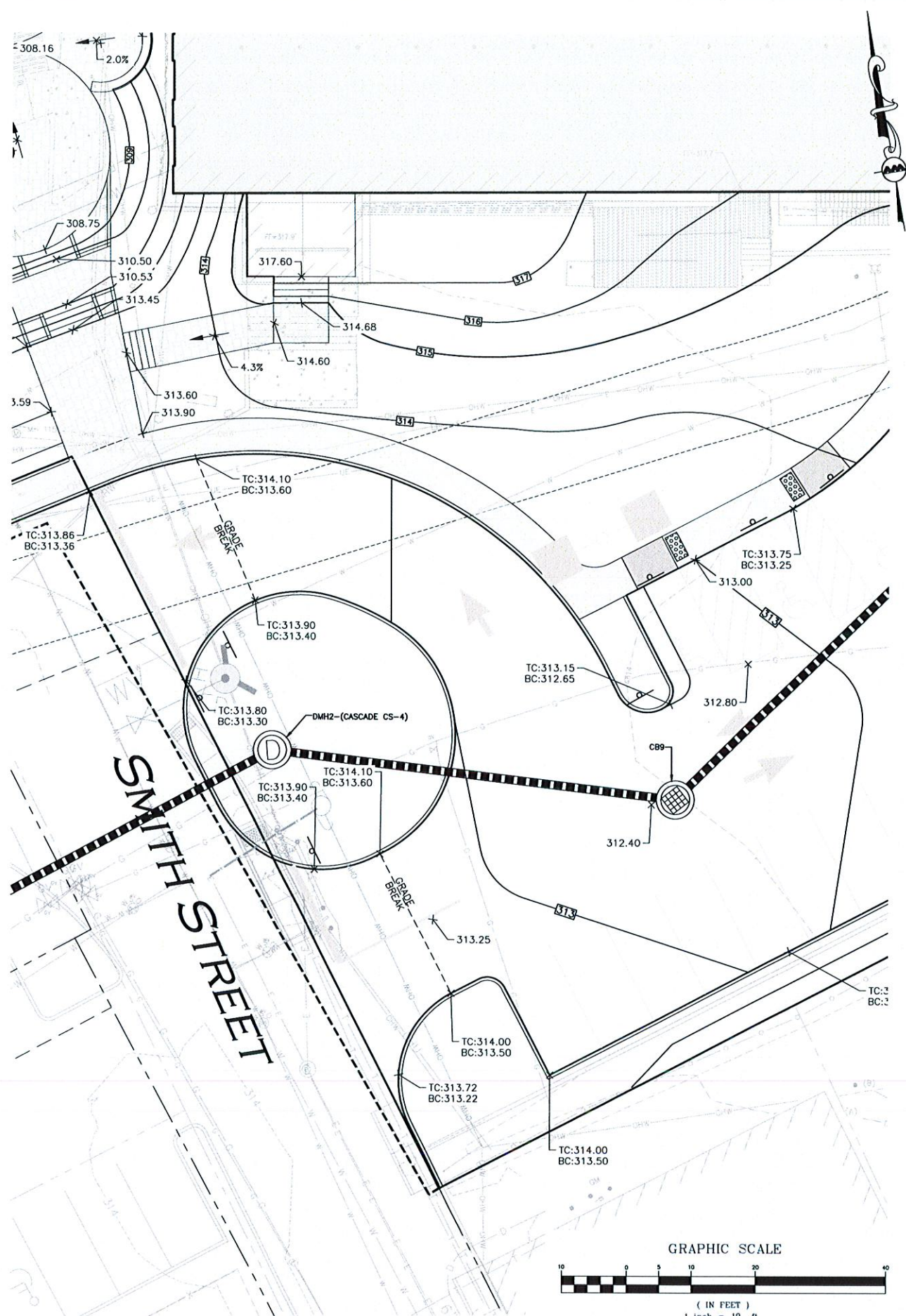
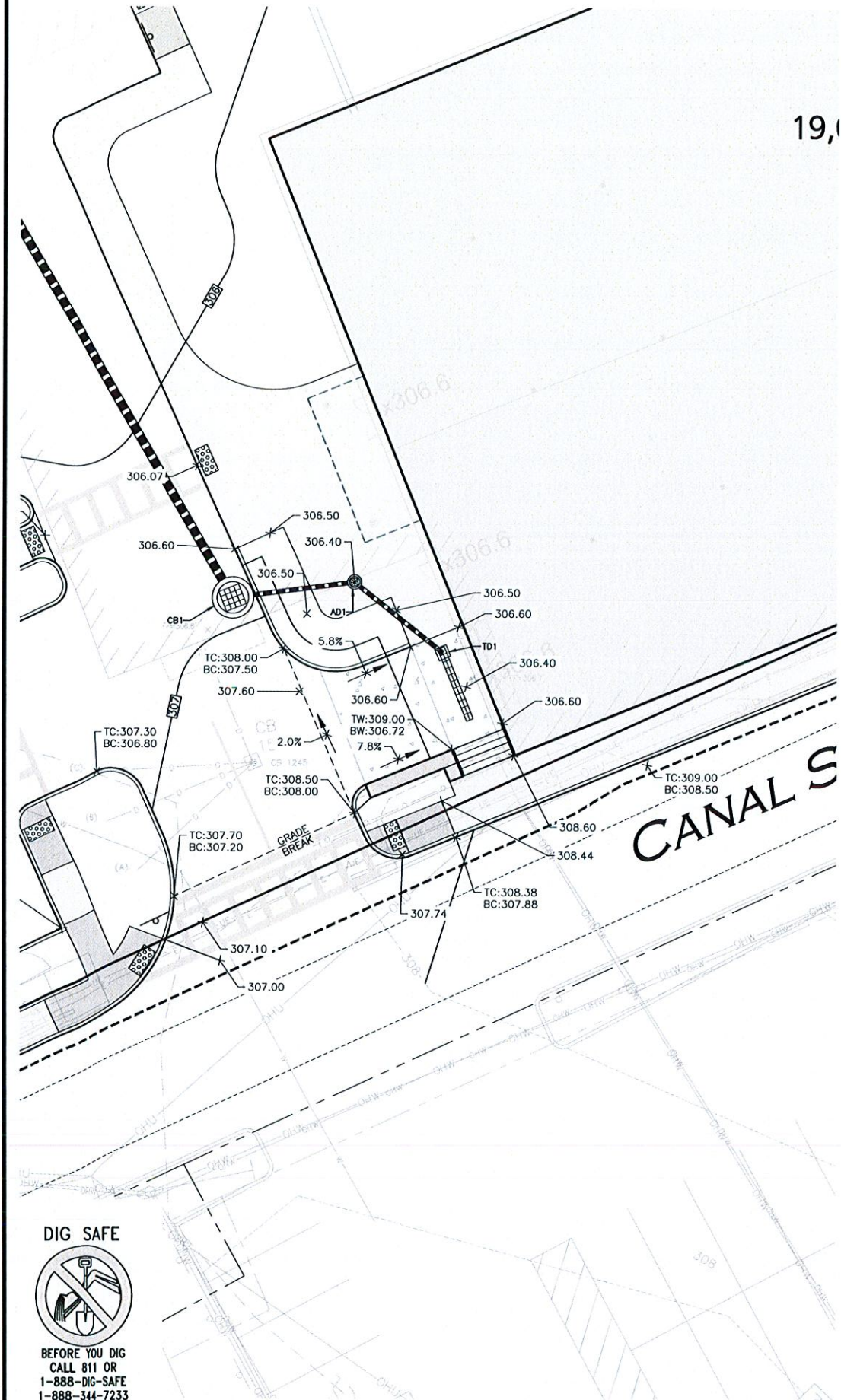
PROJECT NO.	2748-02	DATE:	10-06-2020
SCALE:	1" = 40'	DWG. NAME:	C2748-02
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

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DRAWING TITLE: **GRADING & DRAINAGE PLAN** Sheet No. **C-103**
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R:\PROJECTS\2748-02 CIVIL DRAWINGS\CURRENT\C-2748-02 GRADING & DRAINAGE.DWG



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	10-06-2020	ISSUED FOR SITE PLAN REVIEW

APPLICANT/OWNER:
STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:
STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235

PROJECT NO. 2748-02 DATE: 10-06-2020
SCALE: 1" = 10' DWG. NAME: C2748-02
DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:

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DRAWING TITLE: **SPOT GRADE PLAN** SHEET No. **C-103A**

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A circular professional engineer seal for the State of New Hampshire. The outer ring contains the text "STATE OF NEW HAMPSHIRE" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by dashes. The center of the seal contains the name "BRIAN D. JONES", the license number "No. 13809", and the word "LICENSED". Below the seal, there is a blue ink signature and the date "10.06.20".

1	10-06-2020	ISSUED FOR SITE PLAN REVIEW
REV	DATE	DESCRIPTION

**PROJECT: STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235**

SCALE:	1" = 1'-0"	DWG. NAME:	C2748-02
--------	------------	------------	----------

DESIGNED BY:	ARM	CHECKED BY:	BDJ
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PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering • land surveying
environmental consulting • landscape architecture

www.allenmajor.com

400 HARVEY ROAD
MANCHESTER, NH 03103

TEL: (603) 627-5500
FAX: (603) 627-5501

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DRAWING TITLE:	SHEET No.
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C-103B

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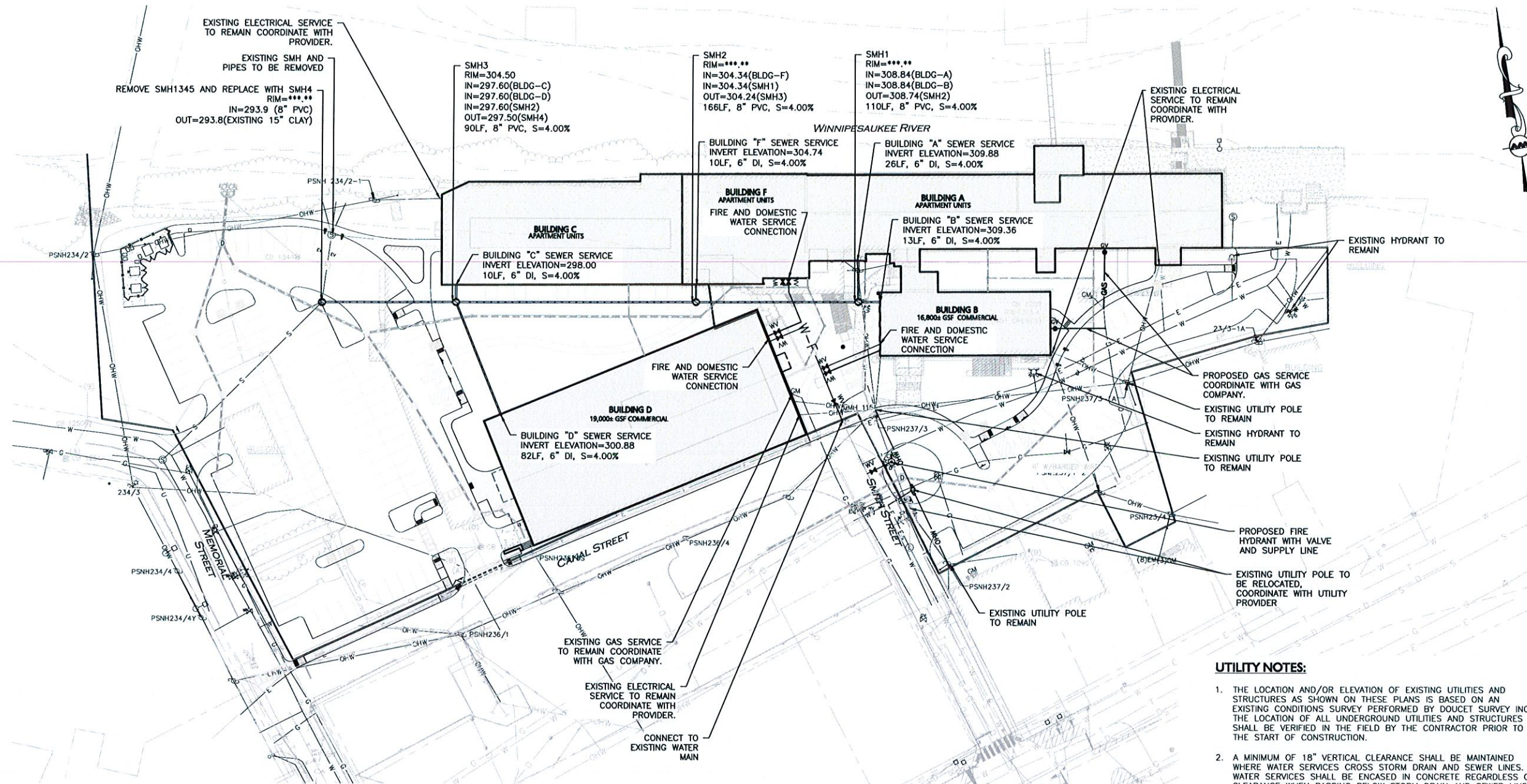
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PROJECTS\2748-02\CIVIL\DRAWINGS\CURRENT\C-2748-02_GRADING & DRAINAGE.DWG

A circular sign with a diagonal slash over a shovel and a pickaxe, indicating that digging is prohibited.

**BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233**

R:\PROJECTS\2748-02\CIVIL\DRAWINGS\CURRENT\C-2748-02_UTILITIES.DWG

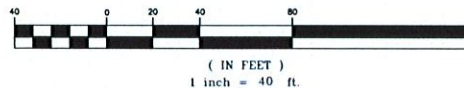


LEGEND	
SEWER MANHOLE	⊙
SEWER LINE	—
WATER LINE	—W—
WATER (FIRE SERVICE)	—W-F—
WATER (DOMESTIC SERVICE)	—W-D—
WATER VALVE	WV
GAS LINE	—GAS—
GAS VALVE	GV
OVER HEAD WIRE	—OHW—
UTILITY POLE	⊙
ELECTRICAL CONDUIT	—E—
TELE/CABLE CONDUIT	—C—

UTILITY NOTES:

1. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON AN EXISTING CONDITIONS SURVEY PERFORMED BY DOUCET SURVEY INC. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN AND SEWER LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN AND SEWER LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF EIGHT FEET CENTERED ON THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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GRAPHIC SCALE



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	10-06-2020	ISSUED FOR SITE PLAN REVIEW

APPLICANT/OWNER:
STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

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PROJECT NO. 2748-02 DATE: 10-06-2020

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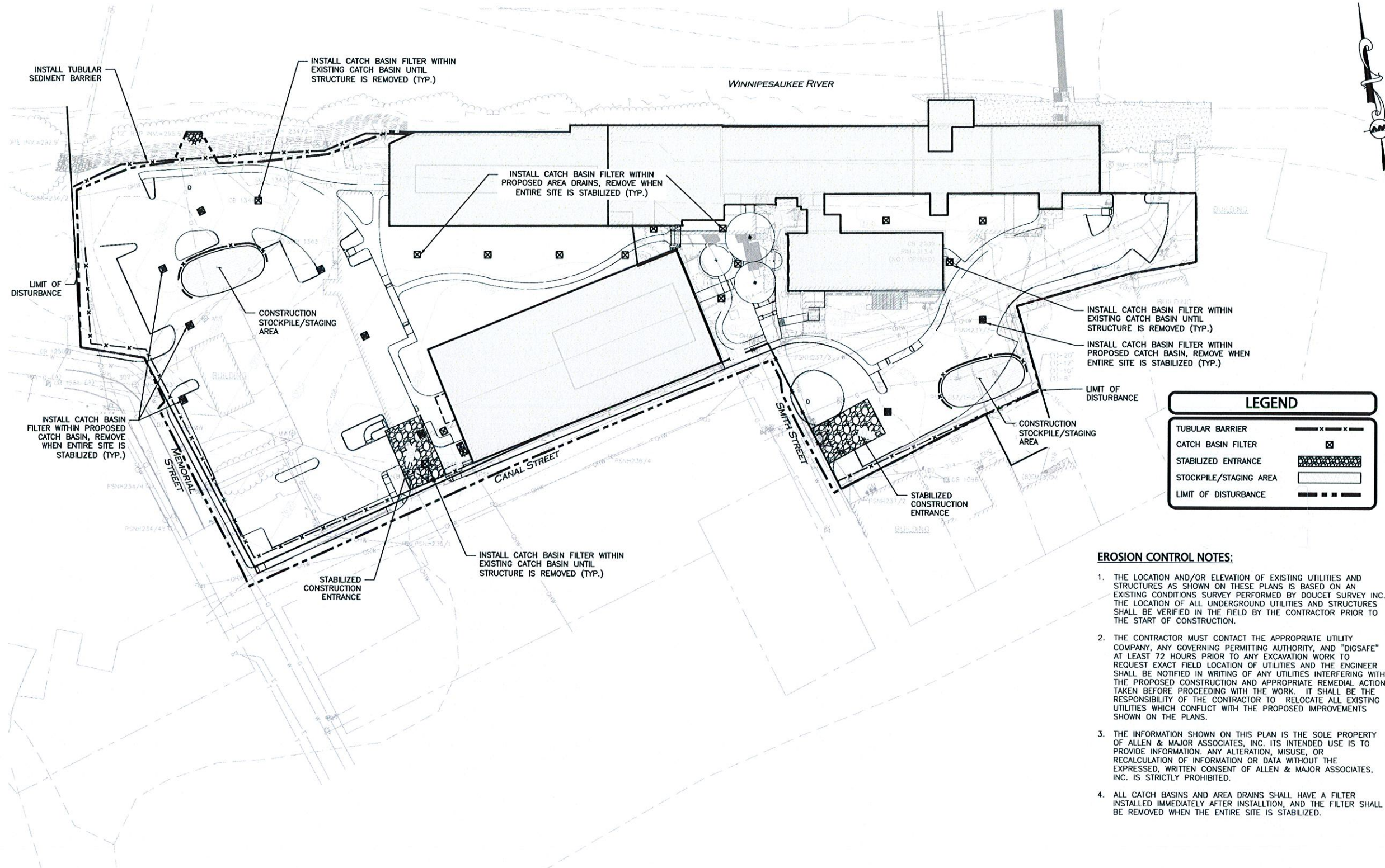
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DRAWING TITLE: UTILITIES PLAN SHEET No. C-104

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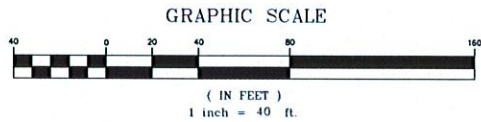
R:\PROJECTS\2748-02\CIVIL\DRAWINGS\CURRENT\C-2748-02_EROSION CONTROL.DWG



LEGEND	
TUBULAR BARRIER	— x — x —
CATCH BASIN FILTER	⊠
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▨
LIMIT OF DISTURBANCE	— · — · —

EROSION CONTROL NOTES:

1. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON AN EXISTING CONDITIONS SURVEY PERFORMED BY DOUCET SURVEY INC. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
4. ALL CATCH BASINS AND AREA DRAINS SHALL HAVE A FILTER INSTALLED IMMEDIATELY AFTER INSTALLATION, AND THE FILTER SHALL BE REMOVED WHEN THE ENTIRE SITE IS STABILIZED.



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1	10-06-2020	ISSUED FOR SITE PLAN REVIEW
REV	DATE	DESCRIPTION

APPLICANT/OWNER:

STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235

PROJECT NO.	2748-02	DATE:	10-06-2020
SCALE:	1" = 40'	DWG. NAME:	C2748-02
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:

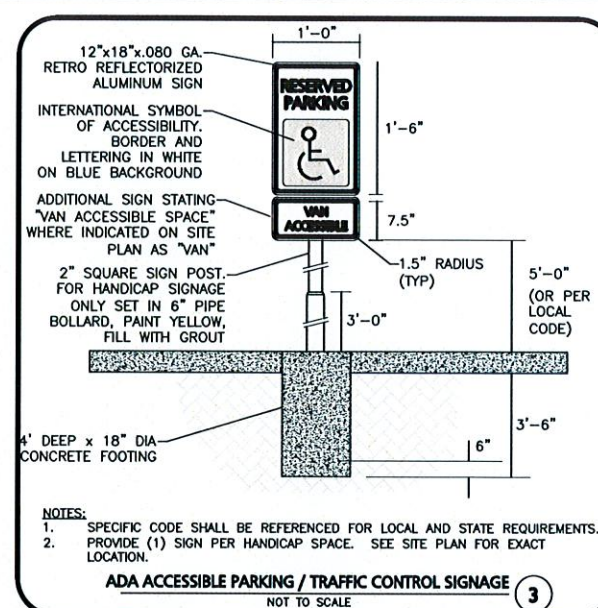
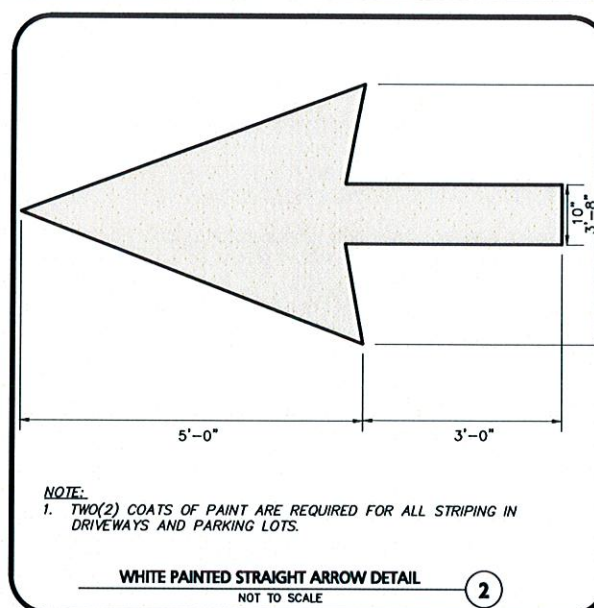
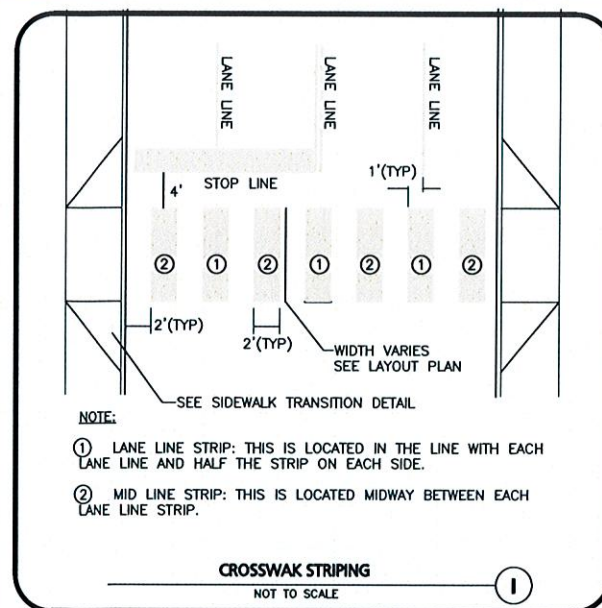
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www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
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DRAWING TITLE:	SHEET No.
EROSION CONTROL PLAN	C-105

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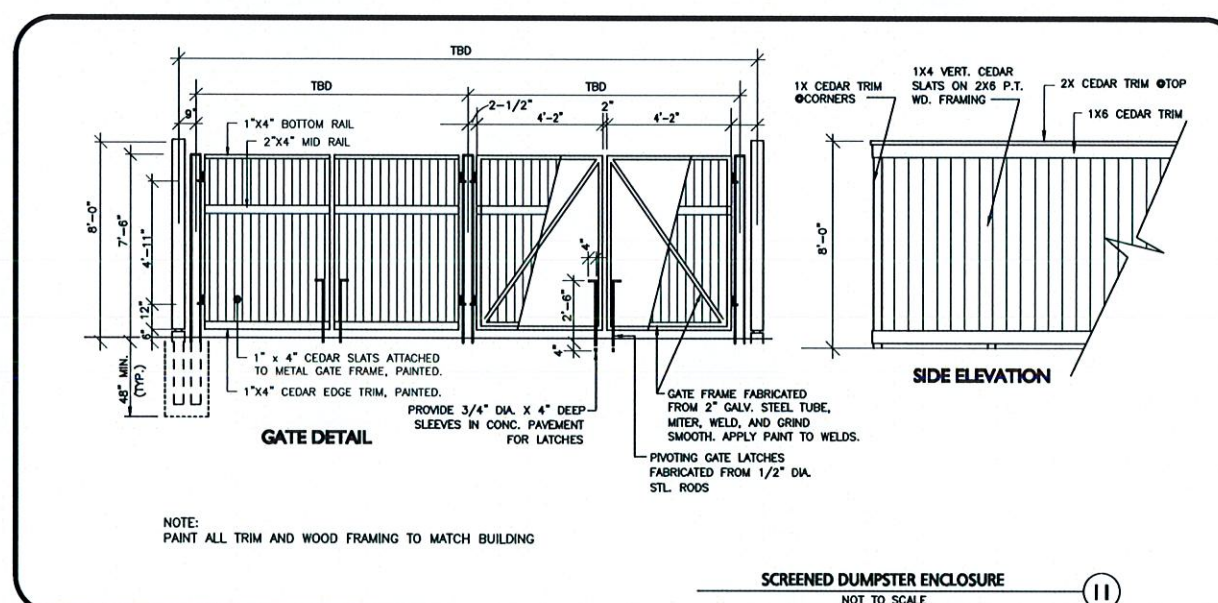
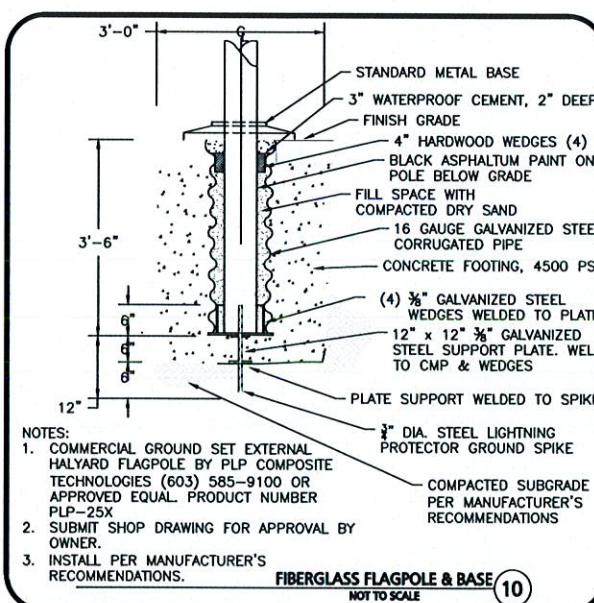
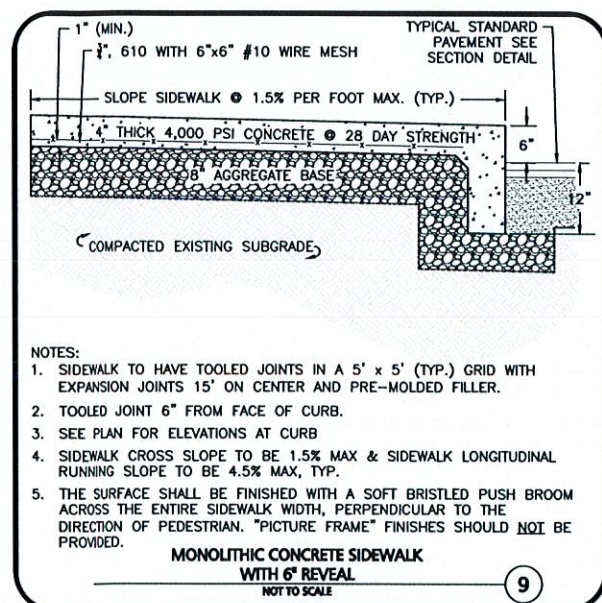
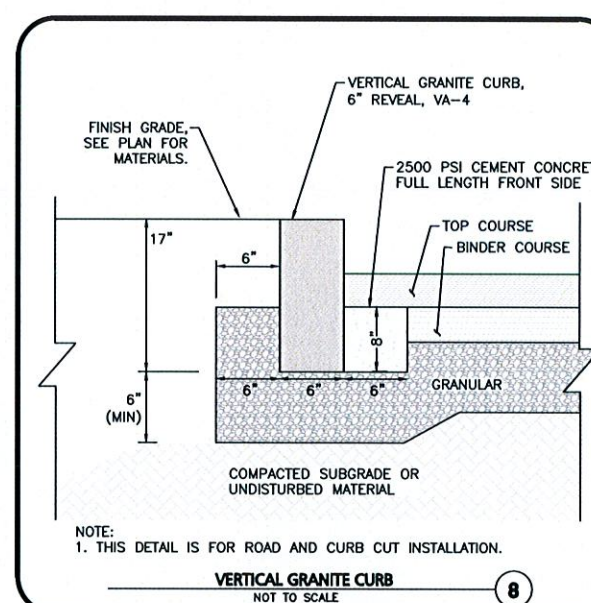
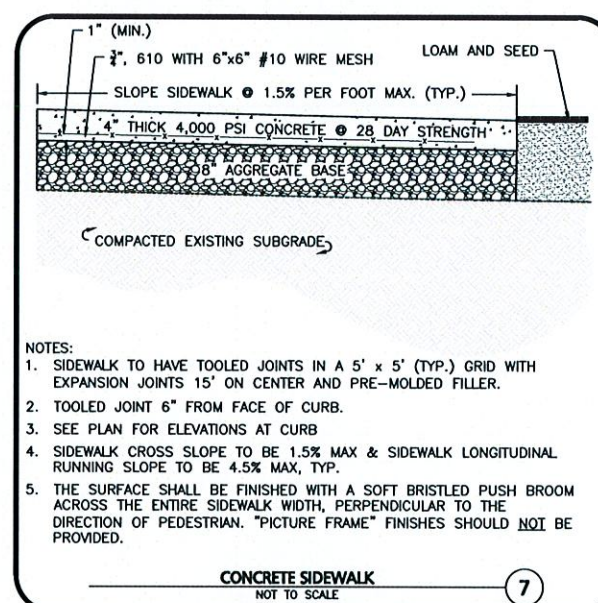
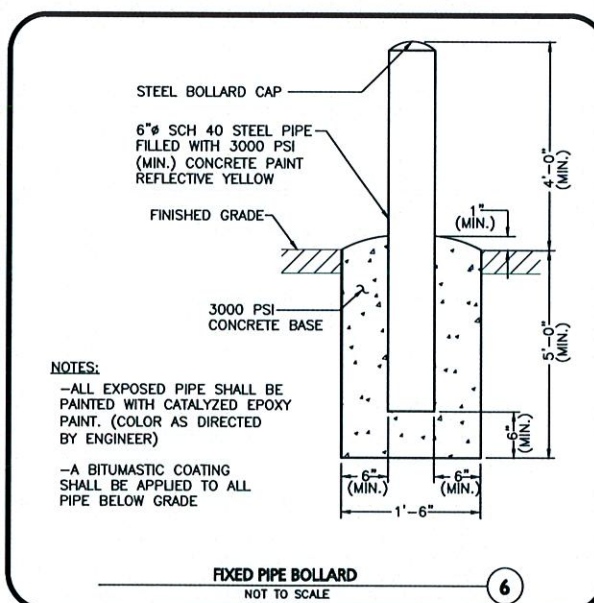
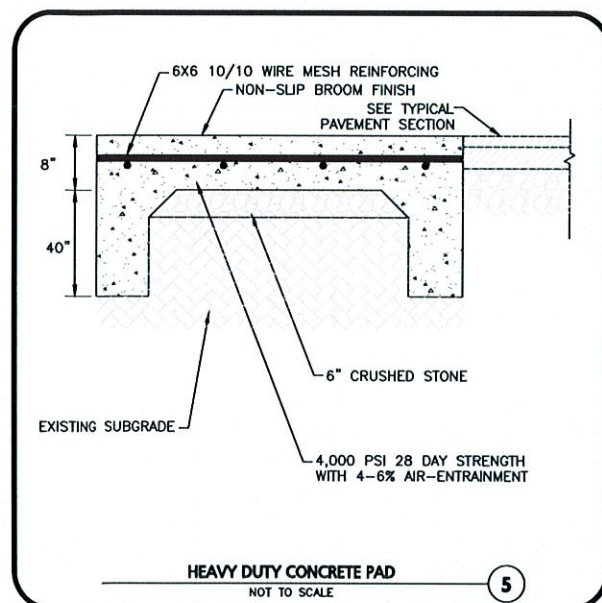
DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1		30" x 30"	7' - 0"	WHITE ON RED	YES
R5-1		30" x 30"	7' - 0"	RED ON WHITE	YES
R6-1		36" x 12"	7' - 0"	BLACK ON WHITE	YES
R7-8 (MODIFIED)		12" x 20"	7' - 0"	WHITE ON BLUE	YES

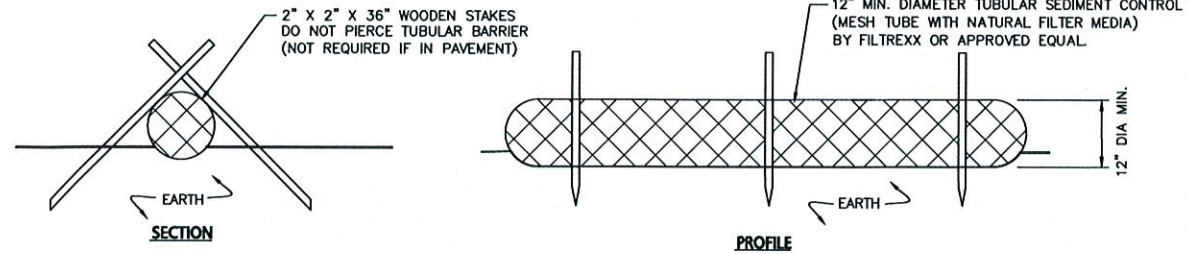
NOTE: TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.

SIGN TABLE

NOT TO SCALE

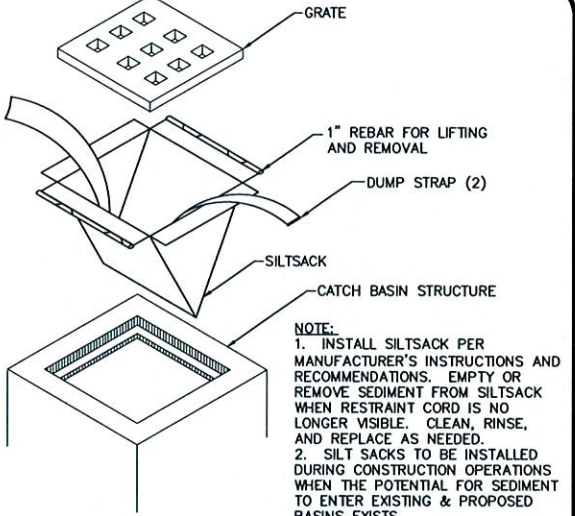
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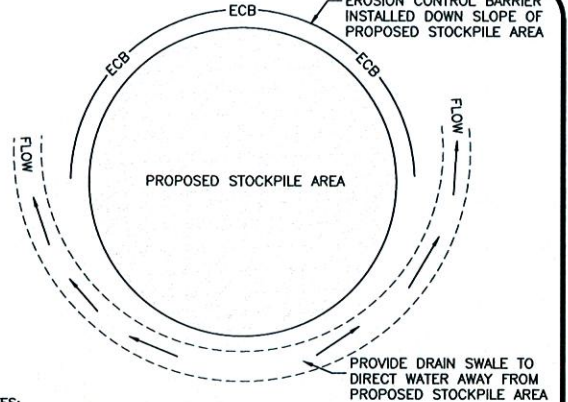


- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 12" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 3. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER
 4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

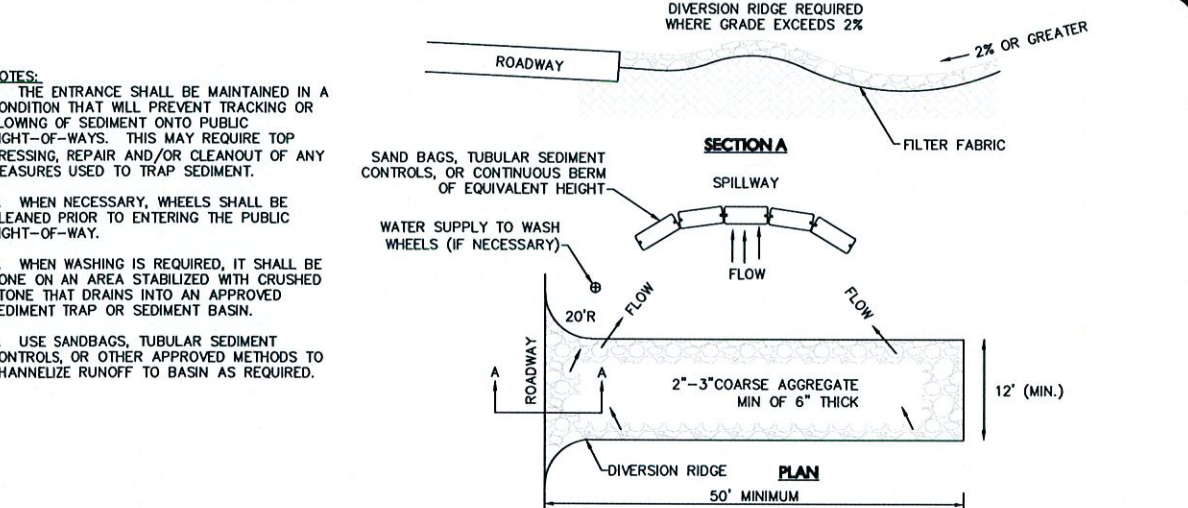
TUBULAR SEDIMENT BARRIER
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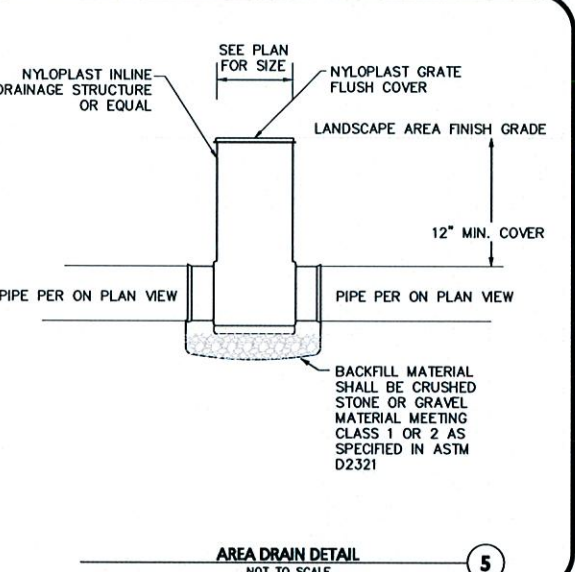
SILTSACK INLET DETAIL
NOT TO SCALE 2



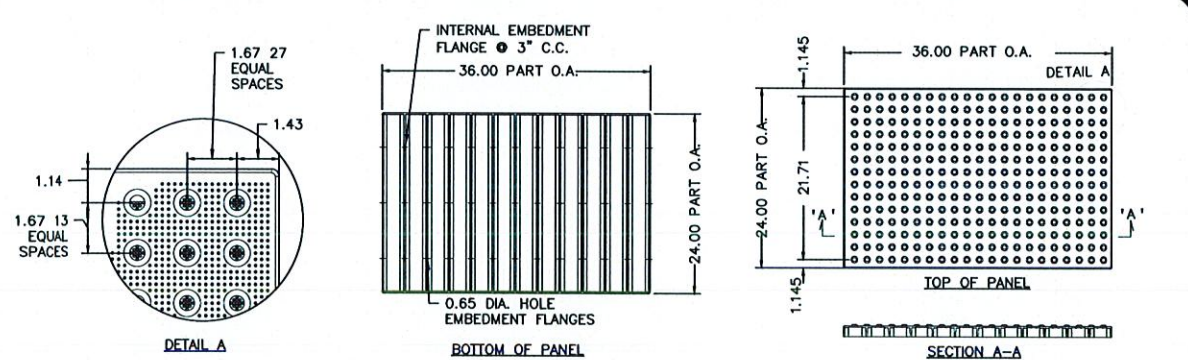
STOCKPILE PROTECTION DETAIL
NOT TO SCALE 3



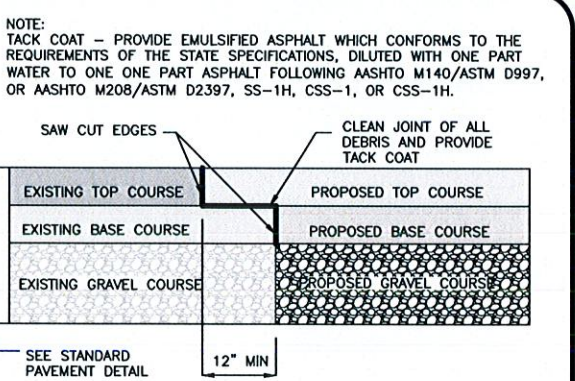
TEMPORARY CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE 4



AREA DRAIN DETAIL
NOT TO SCALE 5

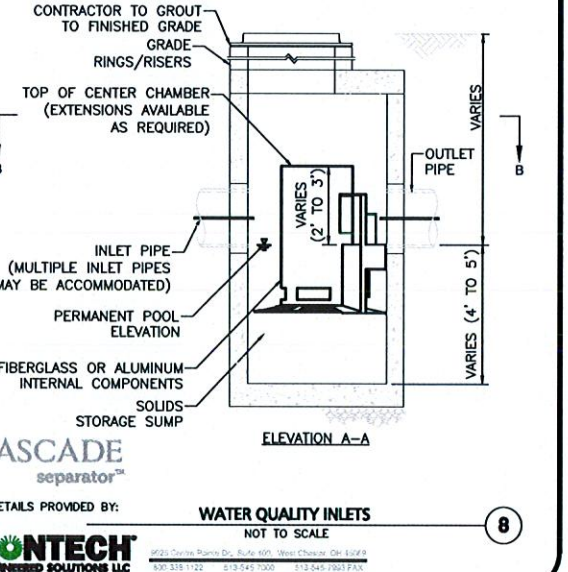
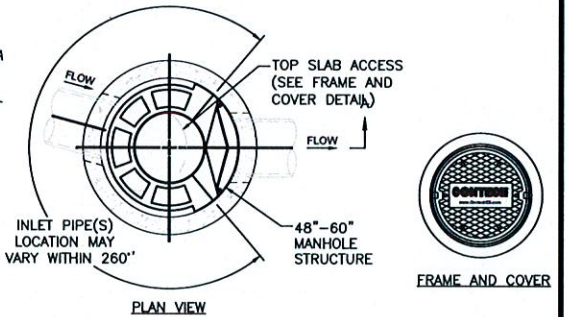


CAST-IN-PLACE TACTILE WARNING PANELS
NOT TO SCALE 6



PAVEMENT KEY CUT DETAIL
NOT TO SCALE 7

- GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' [610], AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 3. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES
- A. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
 - B. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN ON PLAN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - C. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. ALL JOINTS BELOW PIPE INVERTS ARE TO BE GROUTED.



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	10-06-2020	ISSUED FOR SITE PLAN REVIEW

APPLICANT/OWNER:
STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:
STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235

PROJECT NO. 2748-02 DATE: 10-06-2020

SCALE: AS SHOWN DWG. NAME: C2748-02

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
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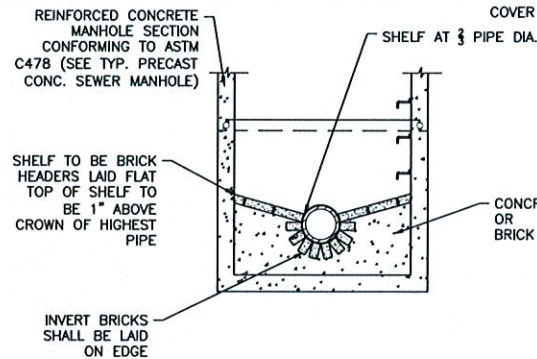
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DRAWING TITLE: DETAILS SHEET NO. C-502

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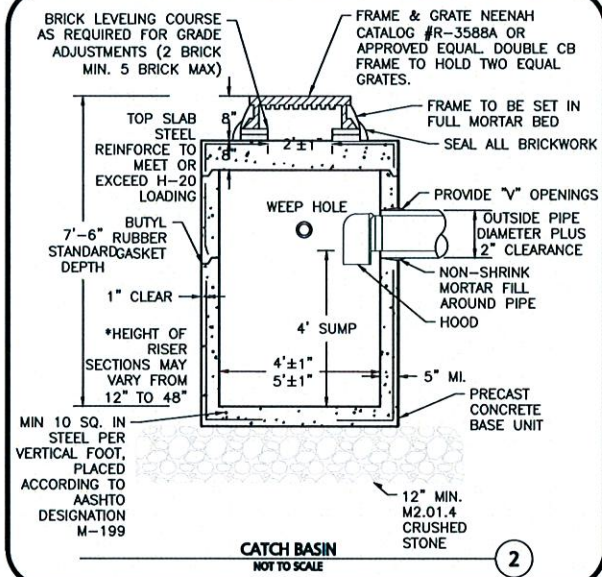
NOTES:

1. INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
2. MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF CEMENT CONCRETE OR BRICK IN MORTAR.

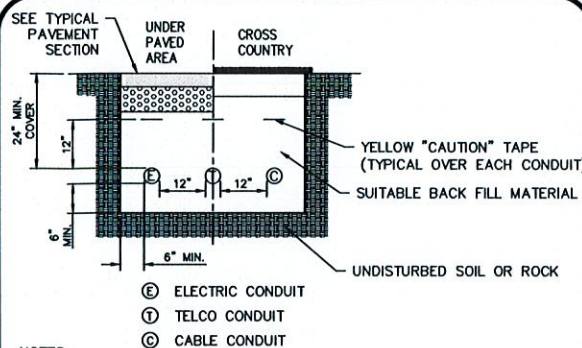
NOTE:

THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OR PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.

PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE



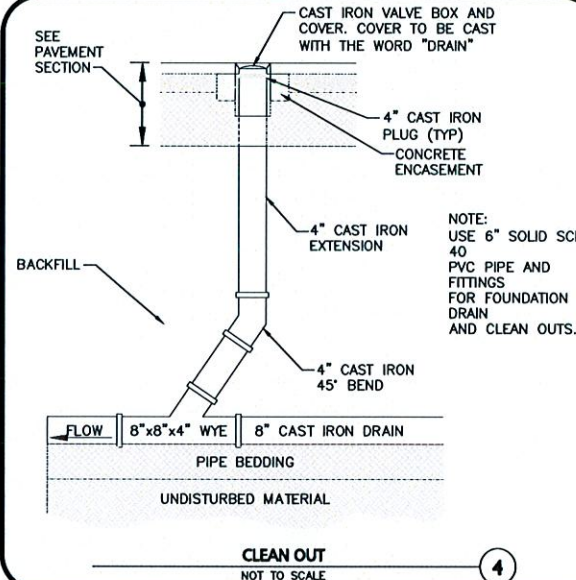
CATCH BASIN
NOT TO SCALE



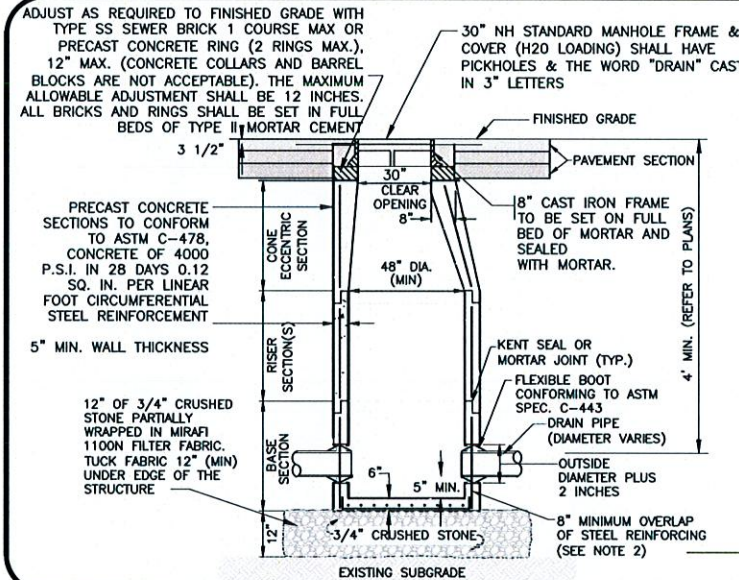
NOTES:

1. SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
2. ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
3. SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS

BURIED CONDUIT DETAIL
NOT TO SCALE



CLEAN OUT
NOT TO SCALE



NOTES:

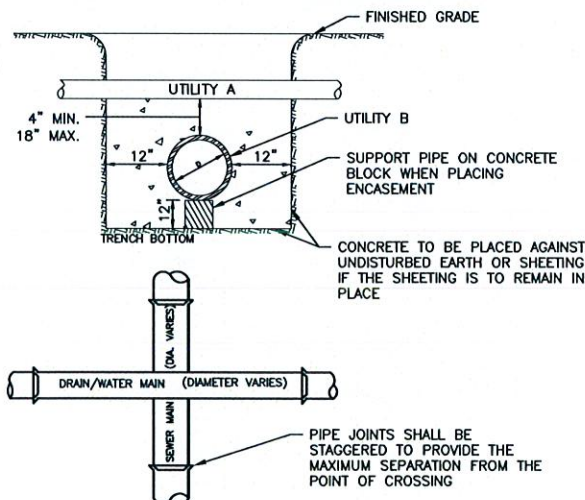
1. MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
3. BASE SECTION SHALL BE MONOLITHIC
4. ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

DRAIN MANHOLE
NOT TO SCALE

NOTES:

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:

1. THE WATER/RAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/RAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
3. THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
4. THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
5. UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
6. WHEN ONE UTILITY IS A SANITARY SEWER. IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
7. ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
8. PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATION DURING PLACEMENT OF CONCRETE.



SEWER, WATER/RAIN CROSSING DETAIL
NOT TO SCALE

STANDARD DUTY FLEXIBLE PAVEMENT DESIGN SECTION			
LAYER NUMBER	LAYER DESCRIPTION	LAYER THICKNESS (INCHES)	
1	BITUMINOUS WEARING COURSE (1/2" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"	
2	BITUMINOUS BINDER COURSE (1/2" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"	
3	CRUSHED GRAVEL (BASE COURSE) (NHDOT ITEM 304.3)	6.0"	
4	GRAVEL BORROW (SUBBASE COURSE) (NHDOT ITEM 304.2)	12"	
5	CLEAN GRANULAR FILL MATERIAL OR APPROVED ON-SITE MATERIALS (SUBGRADE)	AS NECESSARY	

NHDOT GRADATION SPECIFICATION			
SIEVE SIZE	PERCENT PASSING BY WEIGHT		
	CLEAN GRANULAR FILL	BASE COURSE	SELECT GRANULAR FILL
8"	100	100	100
3"	70-100	100	70-100
1 1/2"	40-100	40-80	40-90
No. 4	25-100	30-70	25-80
No. 10	15-95	20-60	15-70
No. 40	10-70	10-30	5-40
No. 200	0-15	3-10	0-12

NOTES:

1. IF A GEOTECHNICAL REPORT IS PREPARED THE RECOMMENDATIONS WITHIN THAT REPORT SHALL SUPERCEDE RECOMMENDATIONS HEREIN. THE CONTRACTOR SHALL HAVE AND REVIEW A COPY OF THE GEOTECHNICAL REPORT AND COMPLY WITH THE RECOMMENDATIONS THEREIN.
2. TOPSOIL SHALL BE REMOVED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY-OCCURRING SOILS OR ACCEPTABLE ON-SITE FILL MATERIALS.
3. THE SUBGRADE SHOULD BE PROOFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10-TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT 'WEAVE' OR 'ROLL' EXCESSIVELY SHOULD BE OVEREXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
4. THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.

PAVEMENT SECTIONS
NOT TO SCALE

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:
STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235

PROJECT NO.	2748-02	DATE:	10-06-2020
SCALE:	AS SHOWN	DWG. NAME:	C2748-02
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:
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DRAWING TITLE: DETAILS
SHEET No. C-503

Project Name:

Stevens Mill Redevelopment

20 Canal Street
Franklin NH 03235

Owner/Applicant:

Chinburg Properties
3 Penstock Way
Newmarket, New Hampshire 03857

Conceptual, Issued for Review

registration:



revisions:

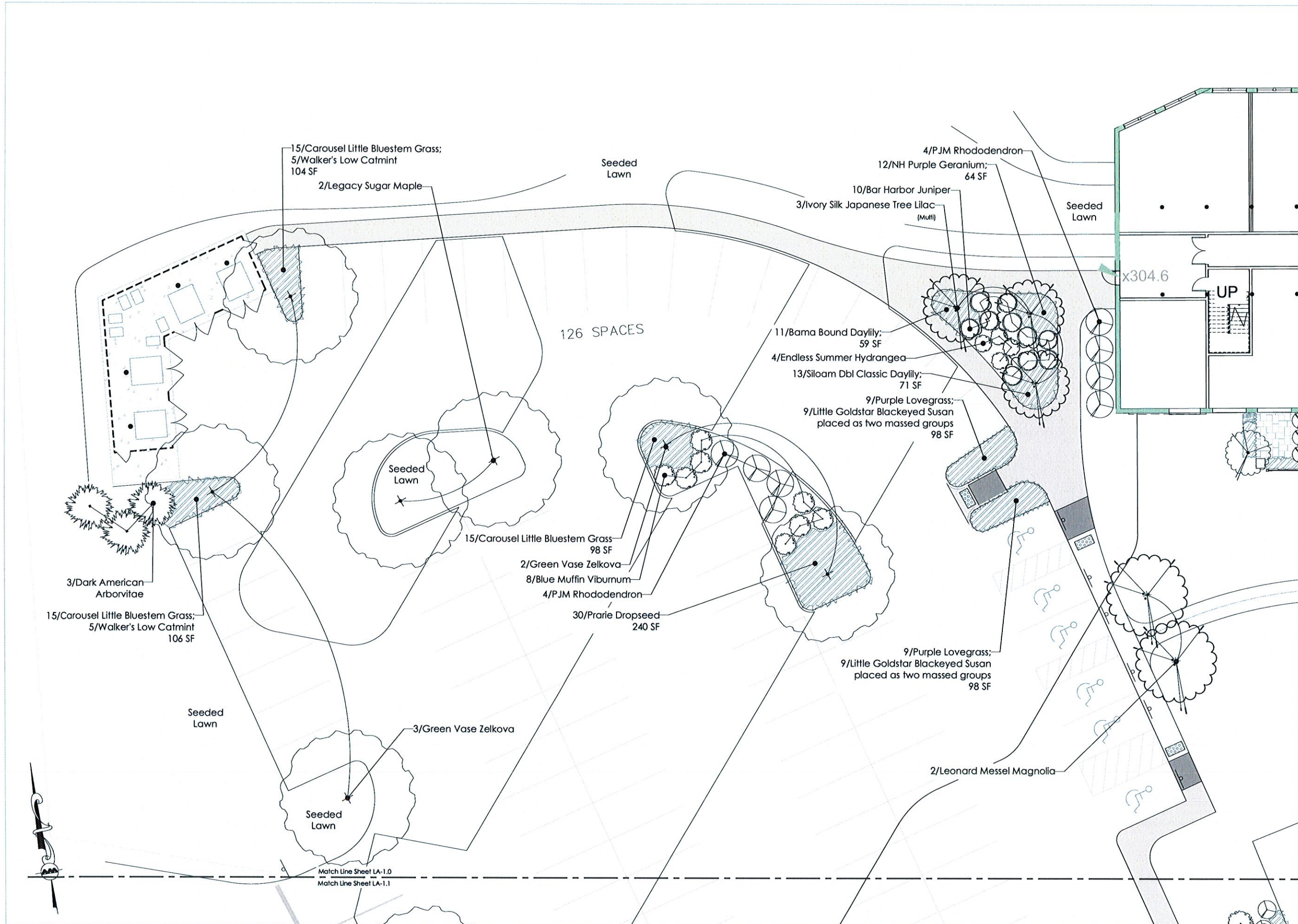
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scale: 1" = 10'
drawn by: dhg
date: 10/2/20

sheet title/number:

Landscape Plan

LA-1.0



Project Name:

**Stevens Mill
Redevelopment**
20 Canal Street
Franklin NH 03235

Owner/Applicant:

Chinburg Properties

3 Penstock Way
Newmarket, New Hampshire 03857

Conceptual, Issued for Review

registration:



revisions:

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project number: 1317.0

scale: 1" = 10'

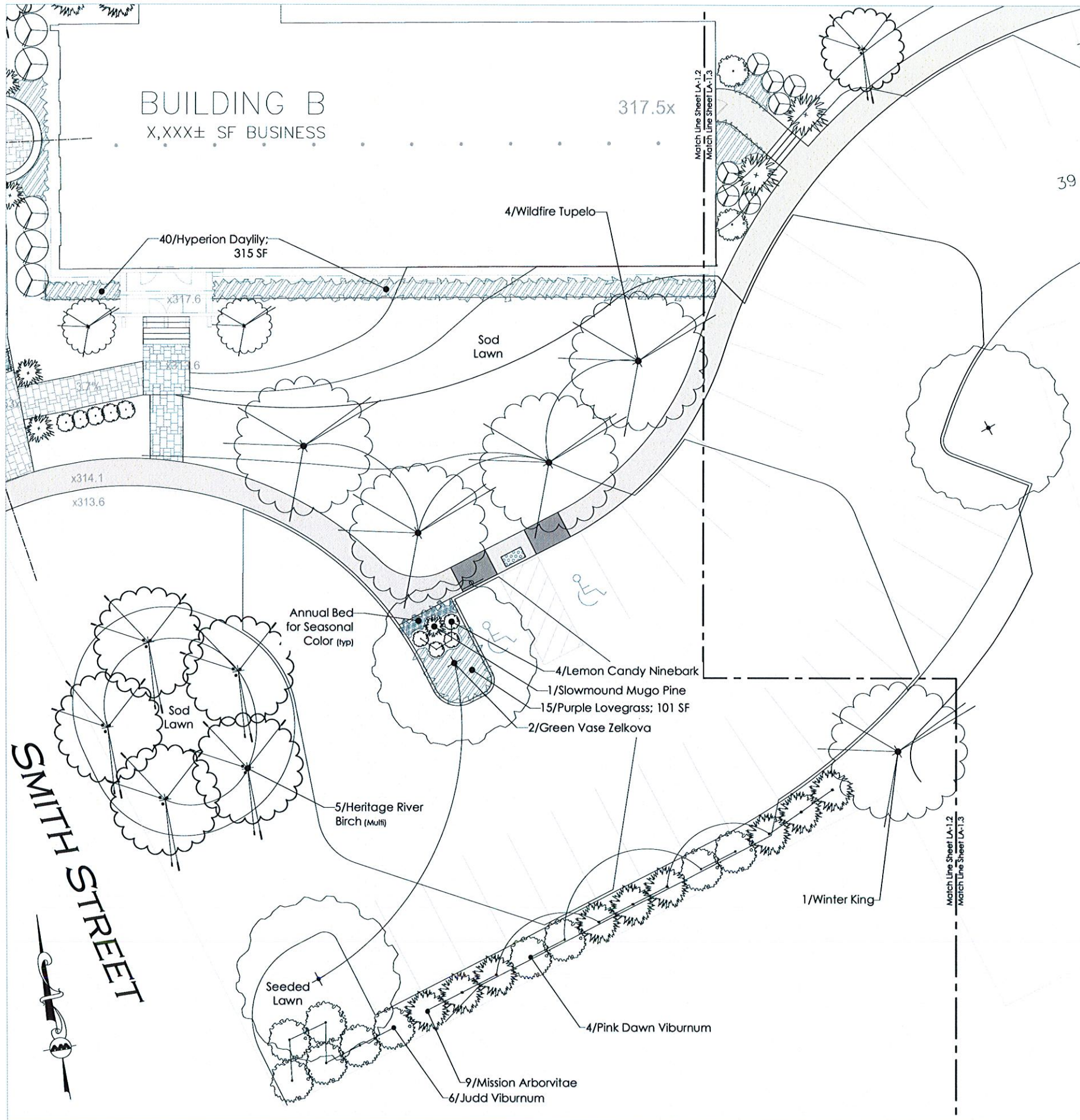
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drawn by:	ang
date:	10/2/20

sheet title/number:

Landscape Plan

LA-1.1



Project Name:

**Stevens Mill
Redevelopment**
20 Canal Street
Franklin NH 03235

Owner/Applicant:

Chinburg Properties
3 Penstock Way
Newmarket, New Hampshire 03857

Conceptual, Issued for Review

registration:



revisions:

no.	date	issued
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6		
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project number: 1317.0

scale: 1" = 10'

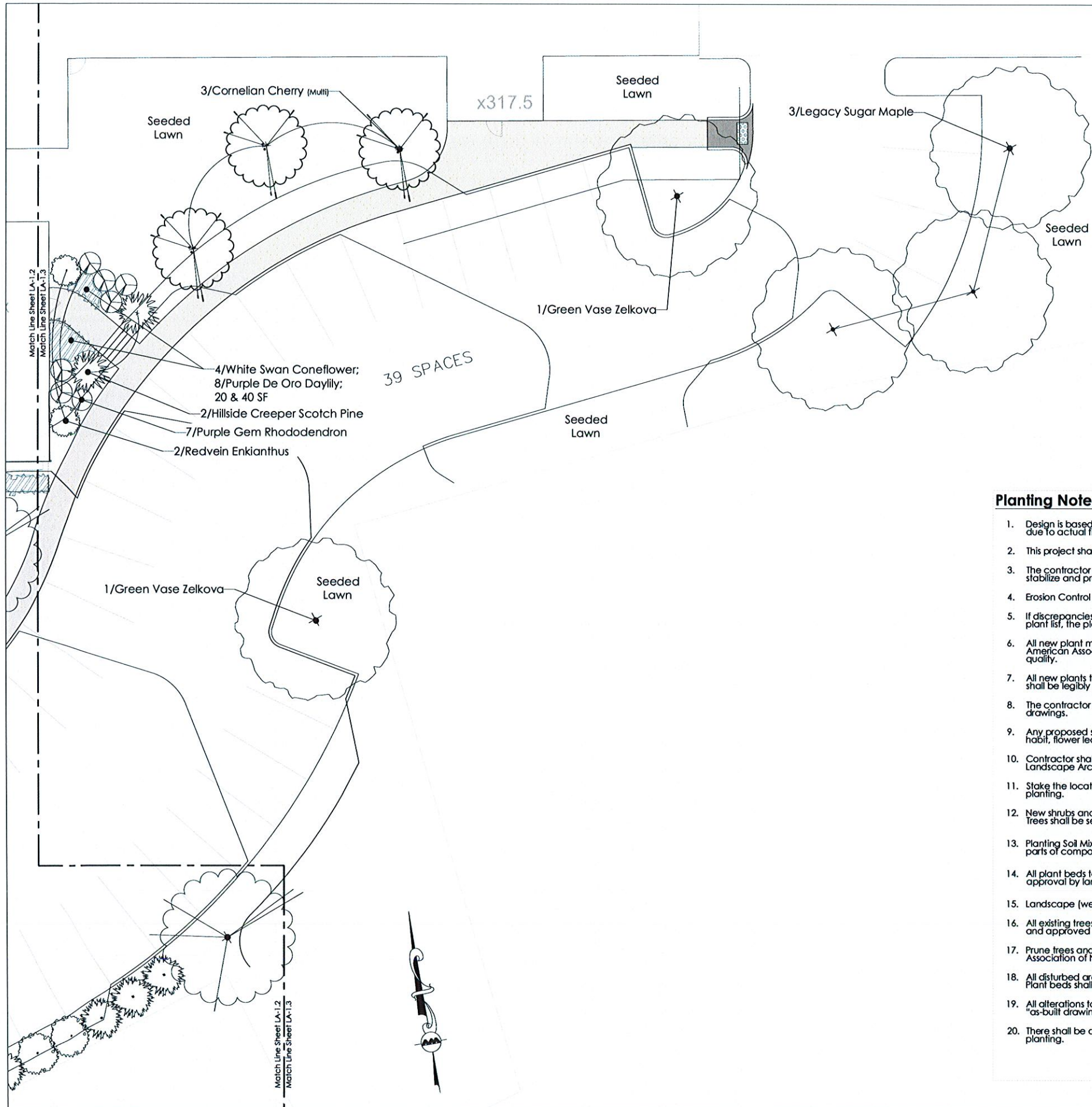
drawn by: dhg

date: 10/2/20

sheet title/number:

Landscape Plan

LA-1.2



Planting Notes

1. Design is based on drawings by Allen & Major Associates Inc., dated October 2, 2020 and may require adjustment due to actual field conditions.
2. This project shall comply with the City of Franklin NH Construction Standards and Details.
3. The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
4. Erosion Control shall be in place prior to construction.
5. If discrepancies exist between the number of plants drawn on the planting plan and the number of plants in the plant list, the planting plan shall govern.
6. All new plant material shall conform to the minimum guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition all new plant material for the project shall be of specimen quality.
7. All new plants to be balled and burlapped or container - grown, unless otherwise noted on the plant list. All plants shall be legibly tagged with the proper botanical name.
8. The contractor shall supply all new plant material in quantities sufficient to complete the planting shown on the drawings.
9. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower leaf, color, fruit and culture, and only after written approval of the Landscape Architect.
10. Contractor shall locate and verify all existing utility lines prior to planting and shall report any conflicts to the Landscape Architect.
11. Stake the location of all proposed plantings for approval by Landscape Architect prior to the commencement of planting.
12. New shrubs and ground cover shall bear the same relationship to grade as it bore to previous grade at nursery. Trees shall be set 2" higher than previous grade. No trees shall be planted before acceptance of rough grading.
13. Planting Soil Mix shall consist of: 3 parts sandy loam topsoil, 1.0 part 1/4" minus composted pine bark mulch and .5 parts of composted cow manure.
14. All plant beds to receive two inches (2") of shredded pine bark mulch. Samples of mulch shall be provided for approval by landscape architect prior to installation.
15. Landscape (weed) fabric is not allowed and shall not be installed under the stone mulch.
16. All existing trees to remain shall be properly protected during construction. Protection techniques shall be reviewed and approved by the Landscape Architect.
17. Prune trees and large shrubs in accordance to guidelines established for nursery stock published by the American Association of Nurserymen, Inc.
18. All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% of 1/4" minus composted bark mulch compost.
19. All alterations to these drawings made in the field during construction shall be recorded by the contractor on "as-built drawings."
20. There shall be a full one (1) year replacement guarantee for all trees and shrubs after final acceptance of initial planting.

Project Name:

Stevens Mill Redevelopment

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Conceptual, Issued for Review

registration:



revisions:

no.	date	issued
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project number: 1317.0

scale: 1" = 10'

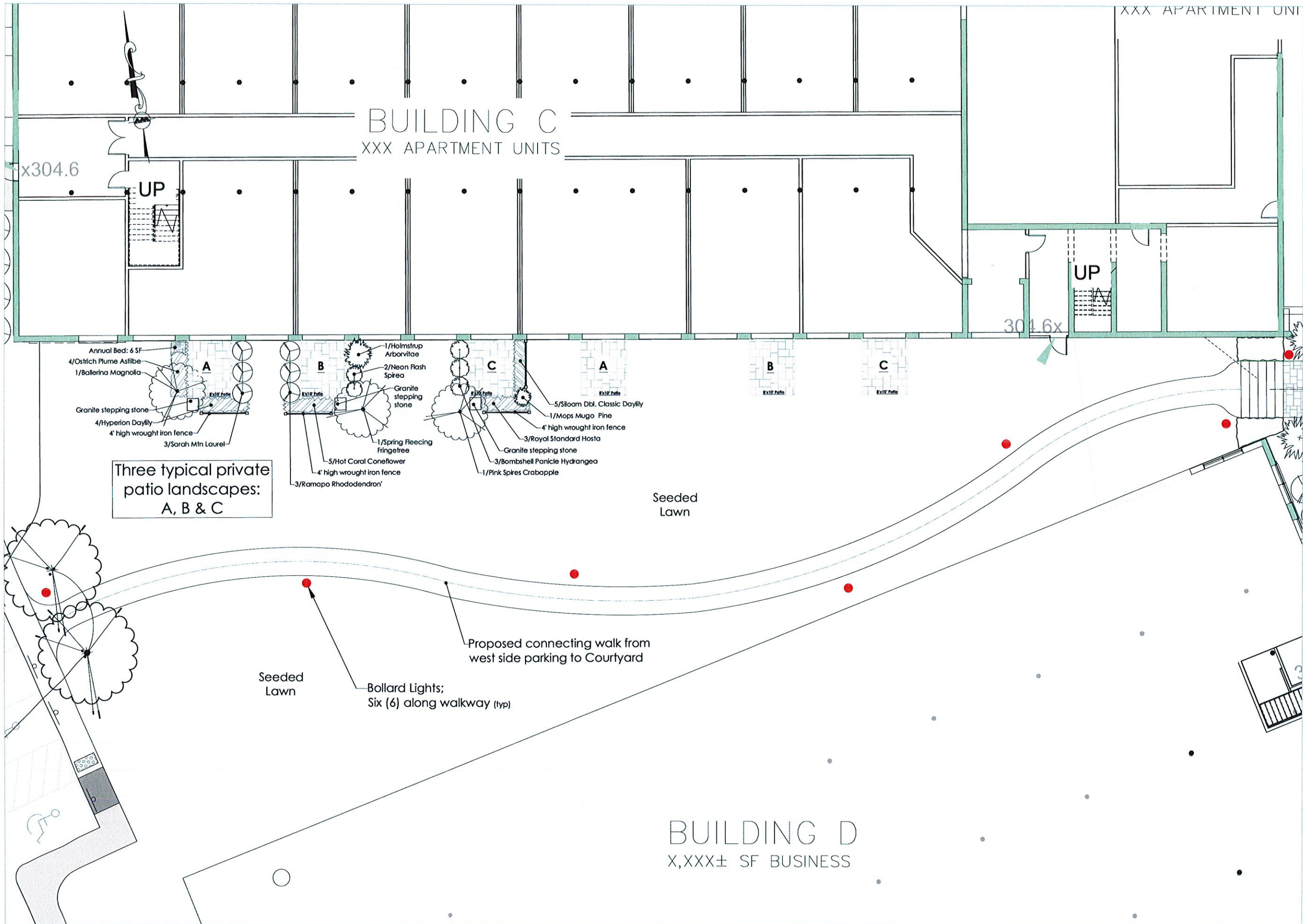
drawn by: dhg

date: 10/2/20

sheet title/number:

Landscape Plan &
Planting Notes

LA-1.3



Project Name:

**Stevens Mill
Redevelopment**
20 Canal Street
Franklin NH 03235

Owner/Applicant:

Chinburg Properties
3 Penstock Way
Newmarket, New Hampshire 03857

Conceptual, Issued for Review

registration:



revisions:

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project number: 1317.0

scale: 1" = 8'

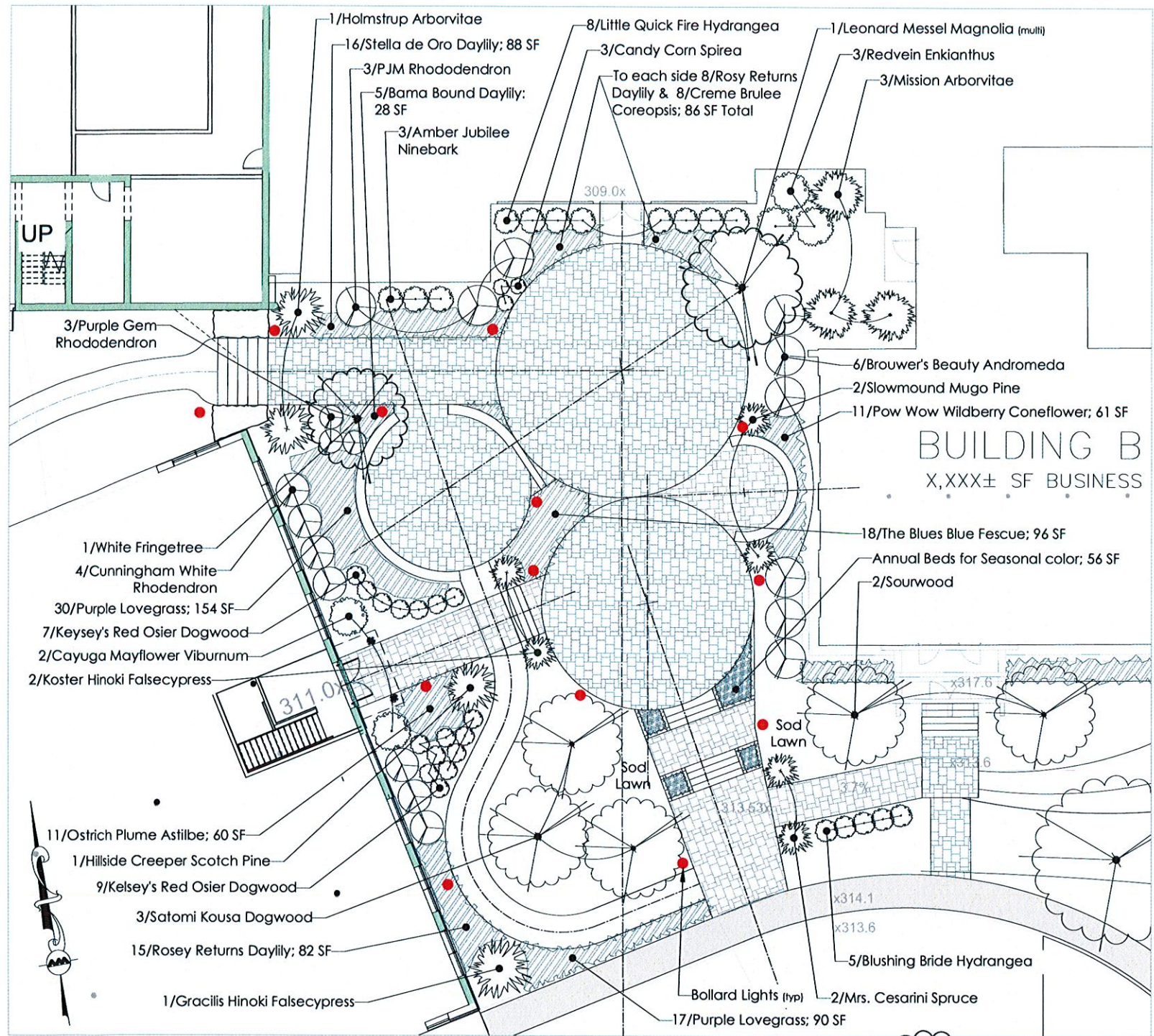
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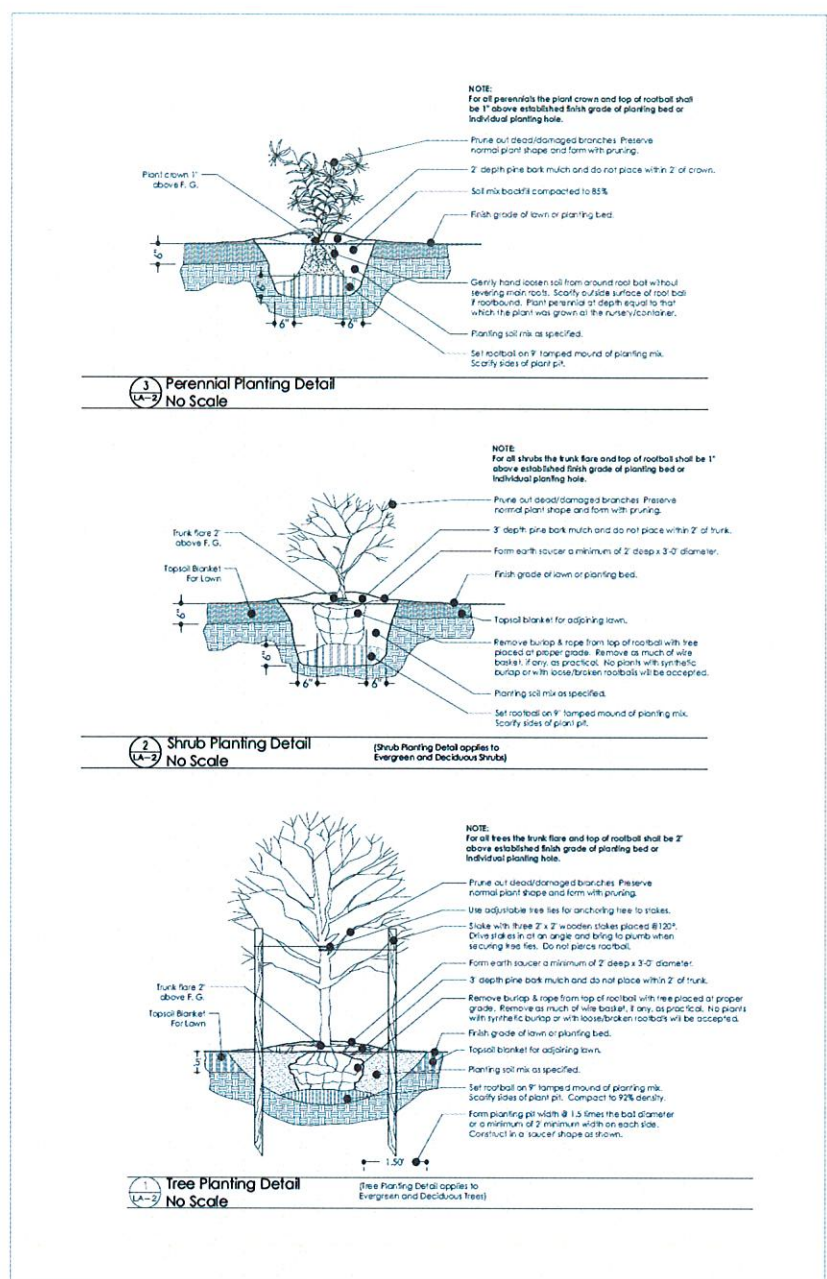
Landscape Plan
Private Patios

LA-1.4



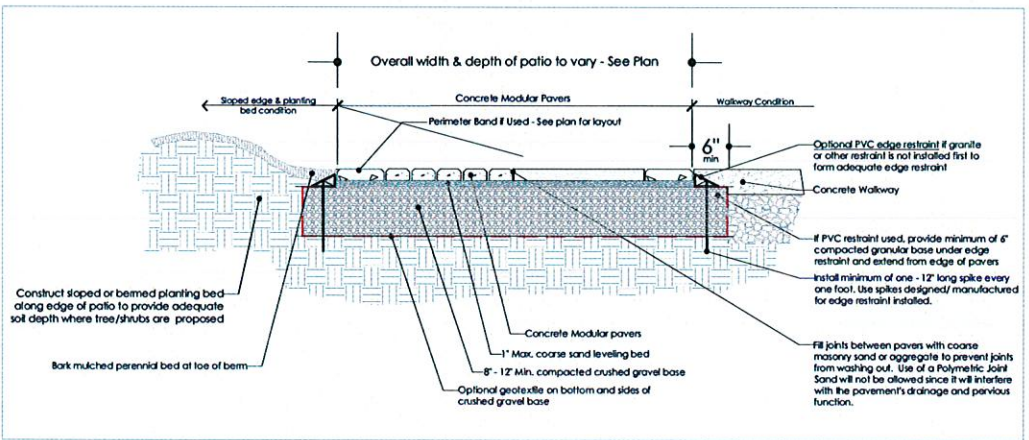
Courtyard Planting Plan

Scale: 1" = 10'-0"



Typical Planting Details

NTS



Patio Pavement Section Detail

NTS

g2+1 LLC
Landscape Architecture Site Planning Graphics

70 New Road
Salisbury, NH 03268
tel: 603.648.6434
web: www.g2plus1.com

Project Name:

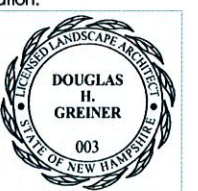
**Stevens Mill
Redevelopment**
20 Canal Street
Franklin NH 03235

Owner/Applicant:

Chinburg Properties
3 Penstock Way
Newmarket, New Hampshire 03857

Conceptual, Issued for Review

registration:



revisions:

no.	date	issued
1		
2		
3		
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project number: 1317.0
scale: 1" = 20'
drawn by: dhg
date: 10/2/20

sheet title/number:
Courtyard Landscape
Plan & Construction
Details

LA-2.0

Plant Schedule

Stevens Mill Redevelopment
Franklin NH

Overall Plantings Sheets LA-1.0, 1.1, 1.2 & 1.3

10/2/2020

Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth		Installed Size	Type	Notes
					Height	Spread			
Large, Deciduous Trees									
HRB.M	6	Heritage River Birch - MULTI	Betula nigra 'heritage'	4	40-70'	20-30'	10'	ht.	B&B Creamy white bark, very hardy
LSM	7	Legacy Sugar Maple	Acer saccharinum 'legacy'	3	50-60'	35-40'	2-2-1/2"	cal.	B&B hardy, vigorous
GVZ	12	Green Vase Zelkova	Zelkova serrata 'green vase'	4	60'	40-60'	2-1/2"	cal.	B&B Good street tree, tolerates poor soil conditions
TUP	4	Wildfire Tupelo	Nyssa sylvatica 'wildfire'	4	30-40'	20-30'	2-1/2"	cal.	B&B native, full sun & shade
Small, Accent Flowering Trees									
CCD	3	Golden Glory Corneliancherry (multi)	Cornus mas 'golden glory'	4	15-20'	10-15'	6'-7"	ht.	B&B clump
ISJTL	3	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory silk' Multistem	3	20-25'	15'	6'-7"	ht.	B&B multistem, Cherry brown bark, dark grn foliage
LMM	2	Leonard Messel Magnolia - MULTI	Magnolia loebneri 'leonard messel'	4	15-20'	10-15'	8'-10'	ht.	B&B Vigorous/hardy, star like petals
SRW	1	Sourwood (multi)	Oxydendrum arboreum	4	25-30'	20'	8'-10'	ht.	B&B full sun
SRW	2	Sourwood	Oxydendrum arboreum	4	25-30'	20'	2-1/2"	cal.	B&B full sun
WKH	1	Winter King Hawthorn	Crataegus viridis 'winter king'	4	25-30'	20-30'	2-1/2"	cal.	B&B Gray bark, showy fruits
Evergreen Trees & Accent Evergreens									
DRK	3	Dark American Arborvitae	Thuja occidentalis 'nigra'	4	10-30'	10-12'	6'-7"	ht.	B&B columnar, wide base, shade tolerant
MSA	9	Mission Arborvitae	Thuja occidentalis 'techney'	3	10-15'	6-8'	6'-7"	ht.	B&B columnar, shade tolerant
Low, Evergreen Ground Cover									
BJU	10	Bar Harbor Juniper	Juniperus horizontalis 'bar harbor'	3	1'	8'	12"-18"	spd.	CTN infill ground cover
HSCP	2	Hillside Creeper Scotch Pine	Pinus sylvestris 'hillside creeper'	3	1-2'	6-8'	3'	spd.	B&B
SMMP	1	Slowmound Mugo Pine	Pinus mugo 'slowmound'	2	2-3'	3-4'	6'	gal.	CTN full sun, dark green, slow growing mound
RSCP	1	Russian Cypress	Microbiota decussata	2	1-2'	4-5'	18"-24"	spd.	CTN Sun and shade, arbovitae like foliage
SGJ	2	Sea Green Juniper	Juniperus chinensis 'sea green'	4	5'	6'	18"-24"	spd.	CTN Bright green, arching foliage, fountain like habit
Accent/Flowering Evergreen Shrubs									
PJM	8	PJM Rhododendron	Rhododendron 'PJM'	4	6-8'	6'	3'-3 1/2'	ht.	B&B full sun, hardy
PRG	12	Purple Gem Rhododendron	Rhododendron 'Purple gem'	4	2'	4'	18"-24"	spd.	CTN full sun, hardy, low
Deciduous Flowering Shrubs									
FLH-3	4	Bombshell panicle Hydrangea	Hydrangea paniculata 'bombshell'	3	3-4'	3-4'	3'	gal.	CTN Sun, compact form, winter hardy
QFPH	4	Little Quick Fire Panicle Hydrangea	Hydrangea paniculata 'quickfire'	3	3-4'	3-4'	3'	gal.	CTN Sun, compact form, winter hardy
LDN	5	Little Devil Ninebark	Physocarpus opulifolius 'little devil'	3	3-4'	3-4'	5'	gal.	CTN Sun, compact, rounded growth, shade tolerant
JUDD	6	Judd Viburnum	Viburnum dilatatum x juddii	4	6-8'	6-8'	4-5'	ht.	B&B red-veined leaves
BMV	8	Blue Muffin Viburnum	Viburnum dentatum 'blue muffin'	4	6-8'	4-5'	4'-5'	ht.	B&B Pendulous habit, Vase shaped, white flower
LCN	9	Lemon Candy Ninebark	Physocarpus opulifolius 'lemon candy'	3	2-3'	2-3'	3'	gal.	CTN Yellow-green foliage, dense, compact habit
RVE	5	Redvein Enkianthus	Enkianthus campanulatus	4	8-10'	6-8'	4'-5'	ht.	B&B partial shade
PNKV	4	Pink Dawn Viburnum	Viburnum bodnantense 'pink dawn'	3	10'	7'	4'-5'	ht.	B&B Upright form
Decorative Grasses									
DCGR-4	33	Purple Lovegrass	Eragrostis spectabilis	4	18-24"	30"	1 yr. potted	2 gal.	18"-24", S, Aug/Oct, bronze red seed heads
DCGR-5	45	Carousel Little Bluestem	Schizachyrium scoparium 'carousel'	3	30"	30"	1 yr. potted	2 gal.	30", S, Sept/Oct, Swarf Bluestem, Fall color copper to dark red
DCGR-6	60	Prairie Dropseed	Sporobolus heterolepis	3	24-36"	24"	1 yr. potted	1 gal.	36", S/Psh, Sug, Emerald grn leaves, orange/yellow fall color
Perennials/Seasonal Color									
S - Sun; S/Sh - Sun/Shade; S/PSh - Sun and Part Shade; PSh - Part Shade; PSh/Sh - Part Shade/Shade									
Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth		Type	Size	Features Ht., Exposure, Bloom Period, Color
					Height	Spread			
GC.A-1	11	Daylily	Hemerocallis 'Bama Bound'				1 yr. potted	2 qt	24", S/PSh, June/August, Dark Red w/ Apple throat
GC.A-3	46	Daylily	Hemerocallis Hyperion				1 yr. potted	1 gal.	40", S/PSh, June/Aug, Sulfur Yellow
GC.A-9	28	Daylily	Hemerocallis flava 'Siloam Dbl. Classic'				1 yr. potted	2 qt	18", S/PSh, June, Double Soft Salmon Pink
GC.A-11	18	Daylily	Hemerocallis 'purple de Oro'				1 yr. potted	1 gal.	20", S/PSh, June - Sept, purple flowers/yellow throat
GC.C-2	16	Hot Coral Coneflower	Echinacea purpurea 'hot coral'				1 yr. potted	1 gal.	22", S, June/Aug, Hot Coral Pink
GC.C-3	4	White Coneflower	Echinacea purpurea 'White Swan'				1 yr. potted	2 qt	18"-24", S/PSh, June/Sept, White
GC.H-5	3	Hosta	Hosta 'Royal Standard'				1 yr. potted	1 gal.	24-28", S/Sh, Aug/Sept, White flower, Rich Grn leaf
GC.J	10	Walker's Slow Catmint	Nepeta Catmint 'walkers' slow'				1 yr. potted	2 qt	15-18", S/Psh, June/Aug, Lavender Blue
GC.L-3	7	Astilbe	Astilbe 'ostrich plume'				1 yr. potted	2 qt	24-30", PSh/Psh, June, Dark foliage w/ Salmon Pink
GC.X-3	12	Bloody Cransbill	Geranium sanguineum 'NH Purple'				1 yr. potted	2 qt	9"-12", S/PSh, May/Sept, Magenta Pink
GC.ZZ-2	18	Little Goldstar Black Eyed Susan	Rudbeckia fulgida var. sullivantii 'Little Goldstar'				1 yr. potted	1 gal.	14"-16", S/Psh, Jul/Sept, gold to Orange shades
0	SF	Seasonal Annual Beds	Mixed selection by Landscape Maintenance Contractor, Directed by Owner						
Lawns/Seeding									
0	SF	Seeded Fine Lawn	Fine Grade, fertilize, seed and Hydromulch (Kentucky Bluegrass and Creeping Red Rescue Blend)						
0	SF	Sod Fine Lawn	Fine Grade, fertilize, (Kentucky Bluegrass and Creeping Red Fescue Blend)						

Notes:

- 1.) All planting beds shall be mulched with a minimum of 2" of shredded pine bark mulch.
- 2.) All sod and/or seeded lawn areas to have minimum 6" topsoil blanket.
- 3.) All native grass seeded areas to have minimum 4" topsoil blanket.
- 4.) All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-2006.
- 5.) All mass planted shrub beds and planters around building shall receive a minimum 18" deep topsoil blanket to compensate for the very sandy/granular sub-grade material expected on this site. Topsoil shall meet requirements as called out in specifications.

Overall Plant Schedule LA Sheets 1.0, 1.1, 1.2 & 1.3

Plant Schedule

Stevens Mill Redevelopment
Franklin NH

Private Patio Plantings Sheet LA-1.4

10/2/2020

Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth		Installed Size	Type	Notes
					Height	Spread			
Patio A (Plants for two patios)									
BLM	2	Ballerina Magnolia	Magnolia loebneri 'ballerina'	4	15-20'	8-10'	7'-8'	ht.	B&B Very fragrant, compact form
MTL4	6	Sarah Hybrid Mountain Laurel	Kalmia latifolia 'sarah'	4	3-1/2'	3-1/2'	5'	gal.	CTN Small Accent
GC.A-3	8	Daylily	Hemerocallis Hyperion				1 yr. potted	1 gal.	40", S/PSh, June/Aug, Sulfur Yellow
GC.L-3	8	Astilbe	Astilbe 'ostrich plume'				1 yr. potted	2 qt	24-30", PSh/Sh, June, Dark foliage w/ Salmon Pink
Patio B (Plants for two patios)									
SFF	2	Spring Fleecing Fringetree	Chionanthus virginicus 'spring fleecing'	4	10-15'	10-15'	2-1/2"	cal.	B&B Prolific white blooms, glossy foliage
RPR	6	Ramapo Rhododendron	Rhododendron 'ramapo'	4	2-3'	3-4'	5'	gal.	CTN Lavender flower, green to bronze foliage
HLMS	2	Holmstrup Arborvitae	Thuja occidentalis 'holmstrup'	2	10'	3-4'	3'-4'	ht.	B&B columnar, shade tolerant
NEFS	4	Neon Flash Spirea	Spirea japonica 'neon flash'	4	3'	3'	3'	gal.	CTN Compact facer
GC.C-2	10	Hot Coral Coneflower	Echinacea purpurea 'hot coral'				1 yr. potted	1 gal.	22"-5, June/Aug, Hot Coral Pink
Patio C (Plants for two patios)									
PSC	2	Pink Spires Crabapple	Malus 'pink spires'	2	15-20'	8'-10'	2-1/2"	cal.	B&B Narrow, upright form, red tinted foliage
FLH-3	6	Bombshell Panicle Hydrangea	Hydrangea paniculata 'bombshell'	3	3-4'	3-4'	3'	gal.	CTN Sun, compact form, winter hardy
MPS	2	Mops Mugo Pine	Pinus mugo 'mops'	2	2-3'	2-3'	6'	gal.	CTN Low, compact dense form
GC.A-9	10	Daylily	Hemerocallis flava 'Siloam Dbl. Classic'				1 yr. potted	2 qt	18", S/PSh, June, Double Soft Salmon Pink
GC.H-5	6	Hosta	Hosta 'Royal Standard'				1 yr. potted	1 gal.	24-28", S/Sh, Aug/Sept, White flower, Rich Green leaf

Private Patios Plant Schedule

Plant Schedule

Stevens Mill Redevelopment
Franklin NH

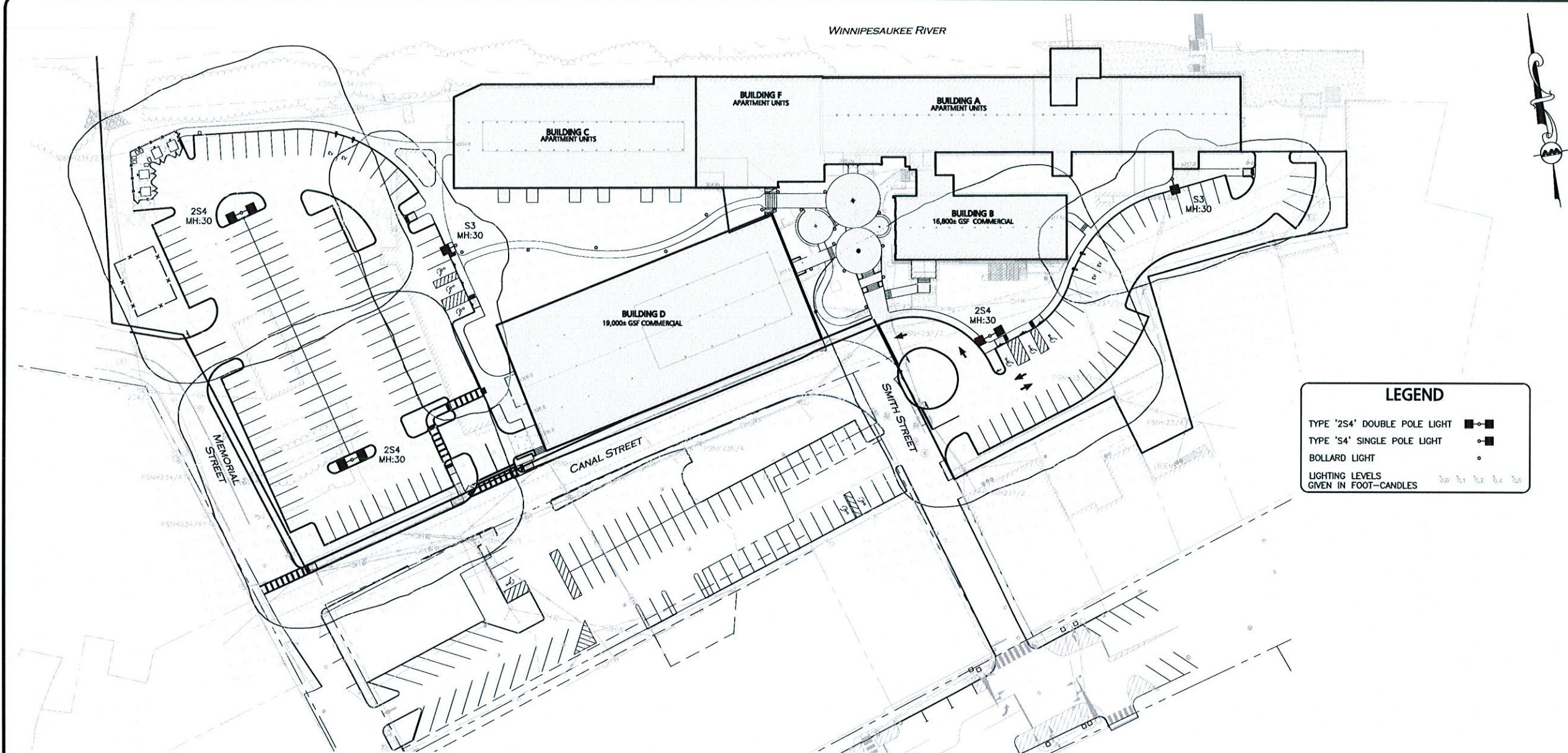
Courtyard Plantings Sheet LA-2.0

10/2/2020

Sym	Qty	Common Name	Botanical Name	Zone	Height	Spread	Installed Size	Type	Notes
Small, Accent Flowering Trees									
KD	3	Satomi Kousa Dogwood	Cornus kousa 'satomi'	5	15-20'	10-15'	7'-8'	ht.	B&B Reddish purple fall foliage, exfoliating bark
LMM	1	Leonard Messel Magnolia - MULTI	Magnolia loebneri 'leonard messel'	4	15-20'	10-15'	8'-10'	ht.	B&B Vigorous/hardy, star like petals
WFT	1	White Fringetree - MULTI	Chionanthus virginicus	3	15-20'	15-20'	7'-8'	ht.	B&B Fragrant Flowers, Small berries loved by birds
STC	2	Sugar Tyme Crabapple	Malus 'sugar tyme'	4	18'	10-15'	2-1/2"	cal.	B&B Upright oval
Evergreen Trees & Accent Evergreens									
HLMS	1	Holmstrup Arborvitae	Thuja occidentalis 'holmstrup'	2	10'	3-4'	3'-4'	ht.	B&B columnar, shade tolerant
MSA	3	Mission Arborvitae	Thuja occidentalis 'techney'	3	10-15'	6-8'	6'-7"	ht.	B&B columnar, shade tolerant
GHFC	1	Gracilis Hinoki Falsecypress	Chamaecyparis obtusa 'gracilis'	4	15-20'	6-8'	6'-7"	ht.	B&B Pyramidal, specimen form
KOS	2	Koster Hinoki Falsecypress	Chamaecyparis obtusa 'kosteri'	5	5-6'	3-4'	6	gal.	CTN Small Accent
Low, Evergreen Ground Cover									
ELY	1	Ever-Low Yew	Taxus media 'ever-low'	4	1.5'	4-6'	18"-24"	spd.	B&B Hardy, shade tolerant
HSCP	1	Hillside Creeper Scotch Pine	Pinus sylvestris 'hillside creeper'	3	1-2'	6-8'	3'	spd.	B&B
SMMP	2	Slowmound Mugo Pine	Pinus mugo 'slowmound'	2	2-3'	3-4'	6	gal.	CTN full sun, dark green, slow growing mound
MCBS	2	Mrs Cesarini Spruce	Picea pungens 'mrs cesarini'	2	2-3'	4-5'	6	gal.	CTN Flat topped bright green spruce
Accent/Flowering Evergreen Shrubs									
PJM	3	PJM Rhododendron	Rhododendron 'PJM'	4	6-8'	6'	3'-3 1/2'	ht.	B&B full sun, hardy
PRG	3	Purple Gem Rhododendron	Rhododendron 'Purple gem'	4	2'	4'	18"-24"	spd.	CTN full sun, hardy, low
BBA	6	Brouwer's Beauty Andromeda	Pieris 'brouwer's beauty'	5	5'	2'-3'	ht.	B&B	
CNW	4	Cunningham White Rhododendron	Rhododendron cat. 'cunningham white'	4	4-5'	4-5'	3 1/2'-4'	ht.	B&B shade, hardy
Deciduous Flowering Shrubs									
QFPH	8	Little Quick Fire Panicle Hydrangea	Hydrangea paniculata 'quickfire'	3	3-4'	3-4'	3	gal.	CTN Sun, compact form, winter hardy
FLH-3	5	Endless Summer Hydrangea	Hydrangea macrophylla 'blushing bride'	4	3-5'	3-5'	5	gal.	CTN Sun, winter hardy
MPV	2	Cayuga Mayflower Viburnum	Viburnum carlesii	4	5-6'	5-6'	3 1/2'-4'	ht.	B&B shade tolerant, ruffled foliage, fragrant
KSD	16	Kelsey's Red Osier Dogwood	Cornus sericea 'kelsey'	4	2-3'	2-3'	3	gal.	CTN sun, compact mound, purple fall color
AMUN	3	Amber Jubilee Ninebark	Physocarpus opulifolius 'amber jubilee'	2	5-6'	3-4'	5	gal.	CTN Bold mix of colors in spring. Clusters of white flowers
RVE	3	Redvein Enkianthus	Enkianthus campanulatus	4	8-10'	6-8'	4'-5'	ht.	B&B partial shade
CCS	3	Candy Corn Spirea	Spirea japonica 'candy corn'	4	18-24"	2-3'	3	gal.	CTN Vivid foliage colors & blooms, compact form
Decorative Grasses									
DCGR-4	47	Purple Lovegrass	Eragrostis spectabilis	4	18-24"	30"	1 yr. potted	2 gal.	18"-24", S, Aug/Oct, bronze red seed heads
DCGR-5	18	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	3	24-48"	18"	1 yr. potted	2 gal.	24-48", S/Psh, Sept/Oct, Dwarf Bluestem, Tawny fall color
Perennials/Seasonal Color									
S - Sun; S/Sh - Sun/Shade; S/PSh - Sun and Part Shade; PSh - Part Shade; PSh/Sh - Part Shade/Shade									
Sym	Qty	Common Name	Botanical Name	Zone	Height	Spread	Type	Size	Features Ht., Exposure, Bloom Period, Color
GC.A-1	5	Daylily	Hemerocallis 'Bama Bound'				1 yr. potted	2 qt	24", S/PSh, June/August, Dark Red w/ Apple throat
GC.A-10	23	Daylily	Hemerocallis 'Rosy Returns'				1 yr. potted	2 qt	16", S/PSh, June/Aug, Apricot Pink
GC.A-11	16	Daylily	Hemerocallis 'Stella de Oro'				1 yr. potted	2 qt	14", S/PSh, June - Sept, deep golden yellow
GC.C-2	11	Pow Wow Wildberry Coneflower	Echinacea purpurea 'pow wow wildberry'				1 yr. potted	1 gal.	24-36", S/Psh, June/Aug, Rich Raspberry Pink
GC.L-3	11	Astilbe	Astilbe 'ostrich plume'				1 yr. potted	2 qt	24-30", PSh/Sh, June, Dark Foliage w/ Salmon Pink
GC.B-2	8	Threadleaf Coreopsis	Coreopsis verticillata, 'Creme Brulee'				1 yr. potted	2 qt	20", S, June/Oct, Butter Yellow
0	SF	Seasonal Annual Beds	Mixed selection by Landscape Maintenance Contractor, Directed by Owner						
Lawns/Seeding									
0	SF	Soft Fine Lawn	Fine Grade, fertilize, (Kentucky Bluegrass and Creeping Red Fescue Blend)						

R:\PROJECTS\2748-02\CIVIL DRAWINGS\CURRENT\2748-02 LIGHTING.DWG

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1-888-344-7233



LEGEND

TYPE '2S4' DOUBLE POLE LIGHT ■—■

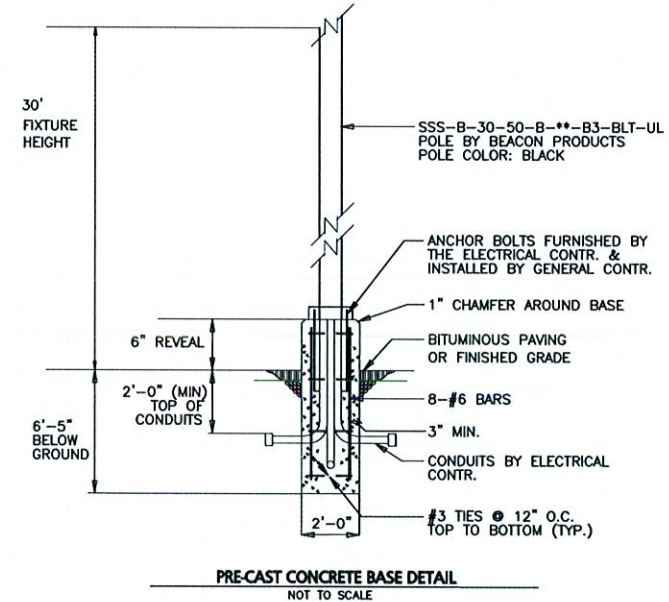
TYPE 'S4' SINGLE POLE LIGHT ■—

BOLLARD LIGHT ●

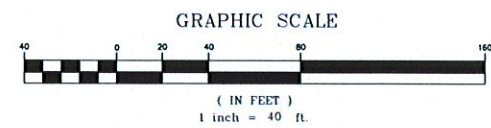
LIGHTING LEVELS
GIVEN IN FOOT-CANDLES 1 2 3 4 5

Luminaire Schedule						
Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LLF Lum. Watts
■—	S3	2	SINGLE - POLE MOUNT	VP-L-96L-220-3KT-3	23681	0.900 217.6
■—■	2S4	3	BACK-BACK - POLE MOUNT	TWIN VP-L-96L-220-4KT-4W	23826	0.900 220

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	0.72	4.8	0.0	N/A	N/A
large parking	1.55	4.0	0.4	3.88	10.00



- NOTES**
- VENDOR INFORMATION:
SWANEY LIGHTING ASSOCIATES
CONTACT: TIM O'SHAUGHNESSY
OFFICE: 207-883-7100
CELL: 603-361-3359
 - LIGHTS WITHIN THE PARKING AREAS AND ACCESS DRIVES SHALL OPERATE ON A PHOTO-CELL & PROGRAMABLE TIMER.
 - CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
 - WIRING OF BUILDING MOUNTED FIXTURES BY BUILDING CONTRACTOR.
 - ALL POLES AND FIXTURE HEADS SHALL BE BLACK.
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APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	10-06-2020	ISSUED FOR SITE PLAN REVIEW

APPLICANT/OWNER:

STEVENS MILL, LLC
C/O CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

STEVENS MILL
REDEVELOPMENT
20 CANAL STREET
FRANKLIN, NH 03235

PROJECT NO. 2748-02 DATE: 10-06-2020

SCALE: 1" = 40' DWG. NAME: C2748-02

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

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DRAWING TITLE: SITE LIGHTING PLAN

SHEET No. E-101

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