



April 21, 2021

Dick Lewis, Director of Planning and Zoning
City of Franklin
316 Central Street
Franklin, NH 03235

RE: Stevens Mill, 20 Canal Street, Heritage Commission Review.

Dear Director Lewis:

Stevens Mill, LLC is please to submit this application to the Franklin Heritage Commission for their review and consideration on the May 10th public hearing.

The project is seeking federal historic tax credits and will conform with the Secretary of the Interior's Standards for the Treatment of Historic Properties as required by the National Park Service (NPS). The NPS Standards govern all exterior modifications for historic tax credit projects, including but not limited to masonry repairs, window restoration or replacement, material and color selections.

The Franklin Mills complex is a contributing resource within the Franklin Falls Historic District. Beginning around 1865, the Franklin Mills were developed to produced textiles and were a major contributor to the local economy. The Franklin Mills complex is most closely associated with M.T. Stevens & Company, who occupied the facility from 1871 until 1971. Now referred to as Stevens Mill, the property is occupied by a variety of small businesses and plans to rehabilitate the complex include converting river adjacent spaces in to apartment homes while continuing to provide space for commercial tenants in spaces along Canal Street.

Please see the attached materials for your review and consideration:

- (1) Completed Application form for Review and Public Meeting, Franklin Heritage Commission,
- (2) Historical Narrative from Essex Preservation Consulting prepared for NPS review,
- (3) Stevens Mill NPS drawings, including elevations showing selective demolition and window replacements, and
- (4) Replacement window product data.

We appreciate the City's support to advance this transformative project at the heart of Franklin's downtown. Please contact us should you wish to discuss any aspect of this these proposed amendments or if more information is required.

Sincerely,

Paul Goodwin
Senior Development Manager
Agent for Stevens Mill, LLC

ATTACHMENT [1]
APPLICATION FORM

Application #: _____
 Date Submitted: _____

**Application for Review and Public Meeting
 Franklin Heritage Commission
 Franklin, New Hampshire**

Please complete the entire application. Failure to do so will delay processing it. PRINT legibly and in INK or complete PDF version using Adobe® Reader®. The application must be signed and dated. The owner must sign the application or submit a letter of authorization.

This application is to be completed by anyone requesting a REVIEW AND PUBLIC MEETING before the HERITAGE COMMISSION. Review criteria are defined in the Regulations of the Heritage Commission (attached). Please also refer to Chapter 78 of the City of Franklin Code. The following activities within the district require review (map attached):

- a. The alteration, addition, erection, painting, roofing, relocation or demolition of buildings, signs, facades, and any visible exterior features of any building within the district.
- b. The construction of any new free-standing buildings.

1. Location of property for which the appeal is being applied: Tax Map & Lot #: Map N8 Lots 117-153
 Street Address: 20 Canal Street, Franklin 154, 261, and 365

- | | OWNER | PERSON COMPLETING APPLICATION |
|----------|----------------------------|--|
| 2. Name: | <u>Stevens Mill LLC</u> | <u>Paul Goodwin</u> |
| Mailing | <u>3 Penstock Way</u> | <u>pgoodwin@chinburg.com</u> |
| Address: | <u>Newmarket, NH 03857</u> | <u>Agent of Owner, Chinburg Properties</u> |
| Phone #: | _____ | <u>(603) 868-5995 ext. 75</u> |

3. Describe all the PROPOSED work to be performed to the Building and the property: (attach separate sheet if necessary)

Please see the attached cover letter and supporting application materials.

4. Please provide the following information if applicable to your project:
- a. Samples of paint or roofing materials to be used.
 - b. Drawings showing proposed landscaping or the areas where existing landscaping will be removed.
 - c. Drawings or design showing any proposed grading or other site work [parking areas, retaining walls, etc].
 - d. Drawings, sketches, or other representations showing the proposed exterior changes to front, side, or rear faces of the building.
 - e. Pictures of the proposed windows or other exterior trim work.
 - f. Any other information that will be helpful to support the application.

The Heritage Commission reserves the right to ask for any other information it deems necessary to review and act on the application.


 Signature of Applicant

3/25/2021

Date

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY!!

1. Date Application Submitted: _____
2. Fee Collected ☐ Yes ☐ No Amount: \$ _____
 Form of Payment: ☐ Cash ☐ Check # _____
3. Date of Public Meeting: _____
 Date Notice Sent to Applicant Explaining Board Action: _____

**Franklin Heritage Commission
Franklin, New Hampshire**

Certificate of Approval

For Historic District Commission Use Only:

1. Property Location Tax Map & Lot #: _____
Street Address: _____

OWNER

2. Name: _____
Mailing _____
Address: _____
Phone #: _____

Approved (date): _____

Conditional Approval (date and conditions to be met): _____

Disapproved (date): _____

Held for further information (date and required information):

By: _____, Franklin Heritage Commission

Distribution of Copies:

1. Commission's Files
2. Applicant
3. Planning and Zoning Office

ATTACHMENT [2]
HISTORICAL NARRATIVE

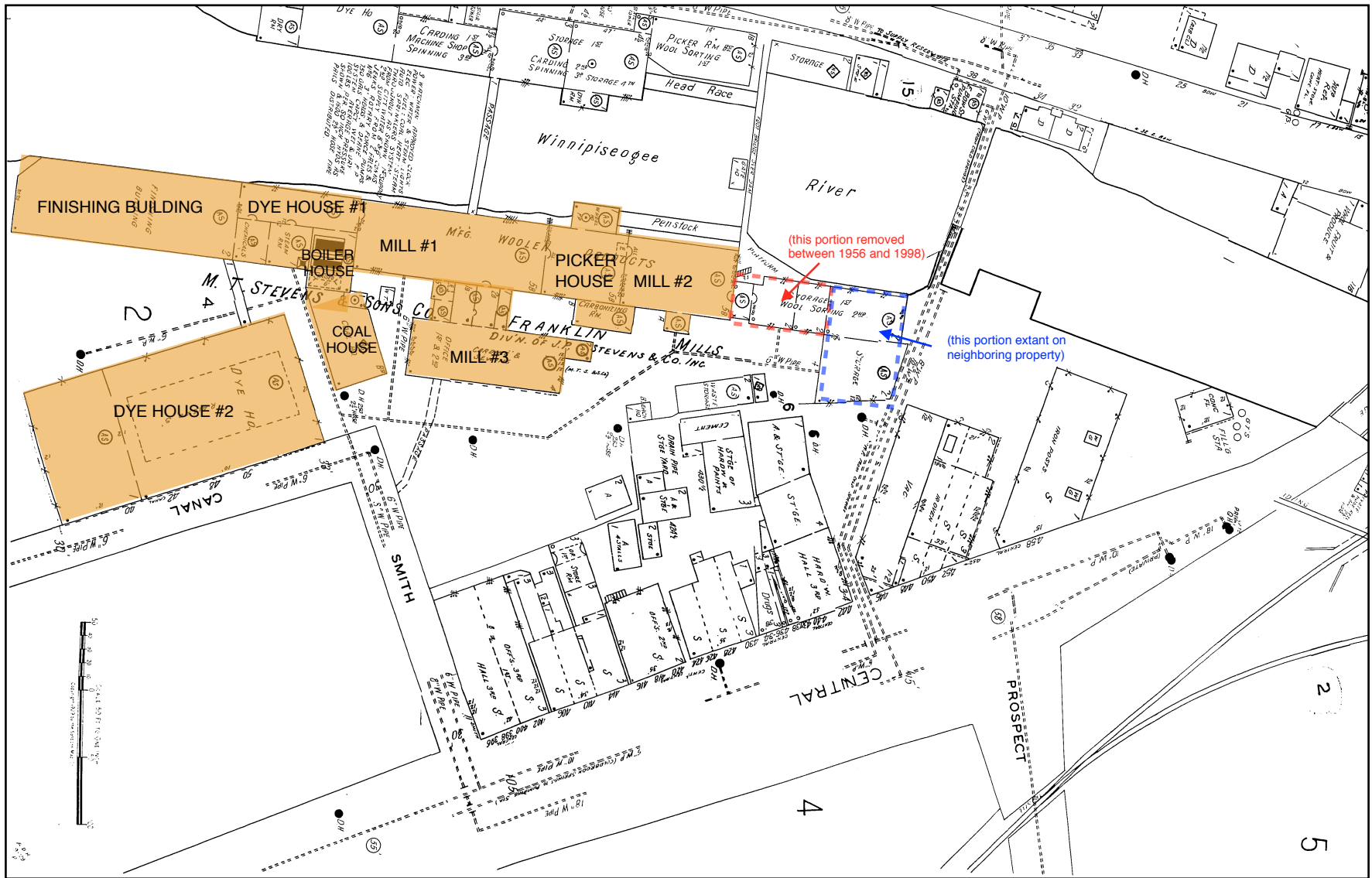


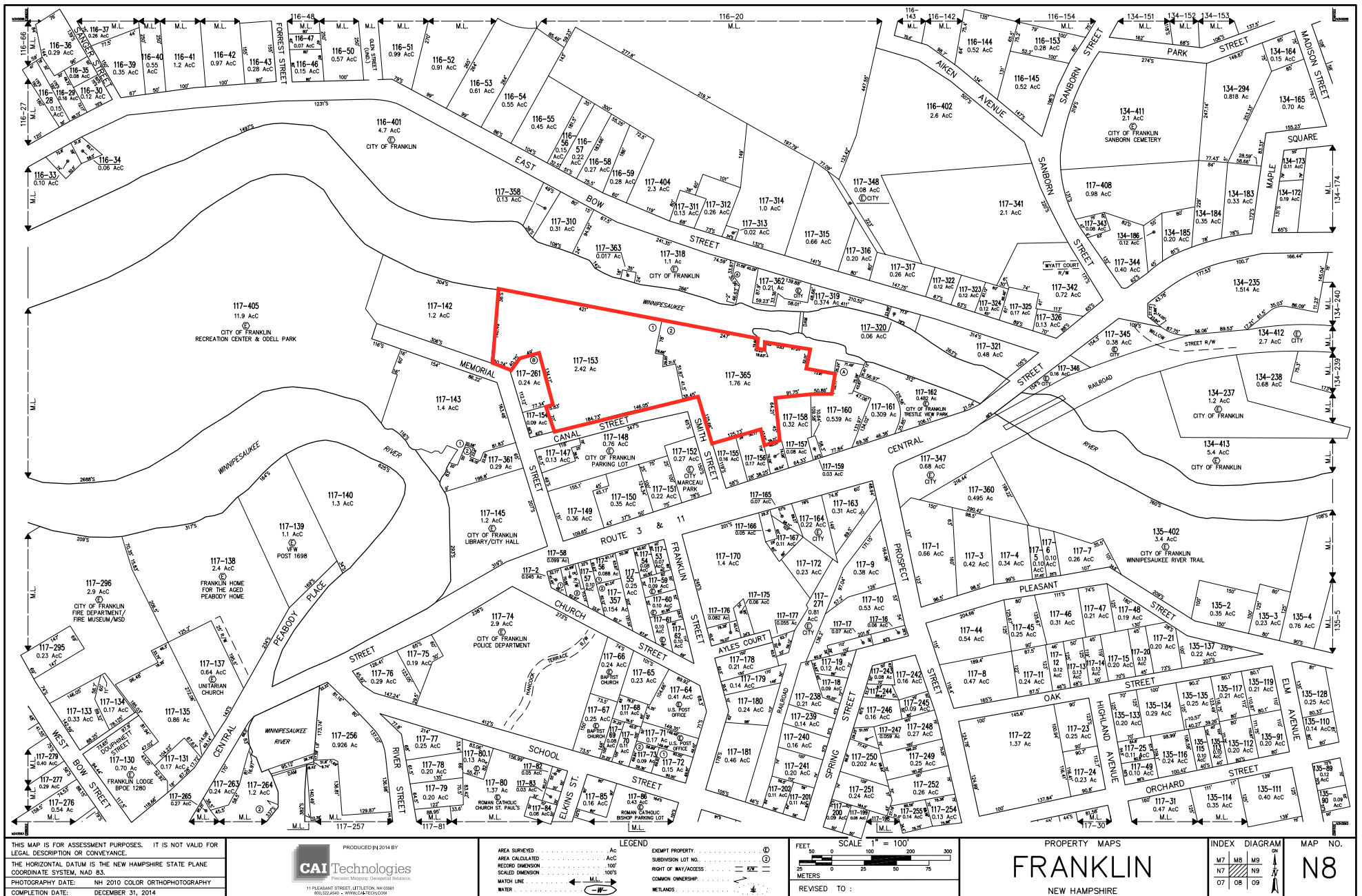
FRANKLIN MILLS
FRANKLIN, NEW HAMPSHIRE

HISTORIC PRESERVATION CERTIFICATION APPLICATIONS
PART 1

21 Market Street
Suite 250
Ipswich, MA 01938

978.356.0322
chris@essexpreservation.com
essexpreservation.com





FRANKLIN MILLS FRANKLIN, NEW HAMPSHIRE

ASSESSORS MAP

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
CONTINUATION SHEET**

Property name Franklin Mills NPS Project Number _____
Property address 20 Canal Street Franklin, New Hampshire 03235-1600

5. Description of Physical Appearance

The former Franklin Mills industrial complex consists of nine functionally related adjoining historic structures. This collection of buildings is located in the heart of downtown Franklin on the south bank of the Winnepesaukee River (see attached building key). The buildings occupy two town lots (lots 117/153 and 117/365), which contain a total of 4.18 acres of land. Nearly all of the land surrounding the building complex is paved for driveways and parking areas. The dam just north of the complex is located on a separate lot and is no longer associated with the Franklin Mills.

Mill #1, Mill #2 and the Picker House were originally built (ca. 1865) as three distinct buildings joined by brick party walls. The two-story picker house separated the two mills, which were four and one-half stories in height (see attached 1884 bird's eye view). All three buildings were originally enclosed by gabled roofs with skylights. Between 1892 and 1897 two additional floors were constructed atop the picker house, bringing all three buildings up to the same height. In 1904 the gable roofs were removed from all three buildings and a fifth floor was added to each, so that today the three buildings read as a single structure (Photo 1). There is also interior access between the three buildings. Dye House #1 (ca. 1895) joins the west elevation of Mill #1 (Photo 24). This row of buildings terminates with the Finishing Building (ca. 1925), which extends off the west end of Dye House #1 (Photo 28). Mill #3 (ca. 1890) is linked to the south side of Mill #1 by two pedestrian bridges and a small addition from the mid- 20th century (Photo 33). Dye House #2 (ca. 1920 – Photo 48) was constructed as a free standing building but is now joined to the Finishing Building by a large modern infill addition (ca. 1950s-1970s – Photo 57).

Mill #1 (ca. 1865)

- The building has five fully exposed floors at the south elevation (Photo 13) and six fully exposed floors at the north elevation (Photo 2).
- The building is eighteen bays wide and four bays deep.
- It is constructed of red brick with plain rough-cut granite sills and lintels at window openings (Photo 14); most window openings retain historic 12/12 wood double-hung windows.
- Window openings at the fifth floor (top floor) of the north elevation were enlarged at some point (date unknown) and are without sashes today (Photo 6).
- The building has a pitched roof finished with a recent rubber membrane. The roofline is defined by deep eaves with a wood plank soffit and exposed rafter ends.
- The original five-story brick stair tower remains near the center of the south elevation (visible on right side of Photo 13); the tower is finished with a corbelled brick cornice and has window openings matching those of the main block.
- A six-story masonry tower (now finished with stucco) was added at the west end of the south elevation (ca. 1970s-1980s – Photo 13).
- An entry enclosure and access ramp were also added at the west end of the south elevation (ca. 1980s - Photo 132).
- Several windows at the east end of the south elevation were infilled with CMU (Photo 16) and a few scattered windows elsewhere across the building were infilled with brick.
- One window at the lower level of the north elevation was converted to a doorway (Photo 7).
- An early metal fire ladder remains at the north elevation (Photo 6).
- Despite the addition of interior partitions, which divide many of the original open spaces, the interior retains the original industrial character, with many areas of exposed brick, exposed wood framing, wood flooring, and decking at ceilings between beams (Photos 75-77, 83, and 84).

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
CONTINUATION SHEET**

Property name Franklin Mills NPS Project Number _____
Property address 20 Canal Street Franklin, New Hampshire 03235-1600

- The fourth and fifth floors remain large open spaces (Photos 98 and 100).
- A historic wood staircase remains in the tower on the south wall (Photo 97)

Picker House (ca. 1865)

- The building has five floors above grade at the south elevation (Photo 17) and six fully exposed floors at the north elevation (Photo 3).
- The building is eight bays wide and four bays deep.
- It is constructed of red brick with plain rough-cut granite sills and lintels at window openings (Photo 8); most window openings retain the historic 12/12 wood double-hung windows.
- The building has a pitched roof finished with recent rubber membrane; the roofline is defined by deep eaves with wood plank soffits and exposed rafter ends.
- A six-story brick tower was added to the south elevation to contain a freight elevator (mid-20th century – visible on left side of Photo 17).
- A few windows at the south elevation were infilled with brick (Photo 18).
- Several windows at the south elevation were converted to doorways when a metal fire escape was added (Photo 18); the fire escape appears to be a mid-20th century feature.
- A one-story brick wheel house was added to the north elevation between 1892 and 1897 (Photo 8).
- A one-story addition was constructed across the eastern half of the south elevation in the late 19th century; the addition was heavily altered in more recent years, so that no historic fabric is evident on the exterior (Photo 47).
- Despite the addition of interior partitions, which divide many of the original open spaces, the interior retains the original industrial character, with many areas of exposed brick, exposed wood framing, wood flooring, and decking at ceilings between beams (Photos 86, 95, and 99).
- The fifth floor remains a large open space (Photo 104).

Mill #2 (ca. 1865)

- Mill #2 has five floors above grade at the south elevation (Photo 17) and six fully exposed floors at the north elevation (Photo 4).
- The building is ten bays wide and four bays deep.
- It is constructed of red brick with plain rough-cut granite sills and lintels at window openings (Photo 11); most window openings retain the historic 12/12 wood double-hung windows.
- The building has a pitched roof finished with a recent rubber membrane; the roofline is defined by deep eaves with wood plank soffits and exposed rafter ends (Photo 23).
- The original seven-story brick stair tower remains near the center of the south elevation (Photo 17).
- Windows at ground level of the north elevation were infilled with brick (Photo 10).
- There are several added doorways at the east elevation, along with scarring on the brick where additions were removed (Photo 22).
- A one-story addition was constructed across the western half of the south elevation in the late 19th century; the addition was heavily altered in more recent years, so that no historic fabric is evident on the exterior (Photo 47).
- An early metal fire ladder remains at the south elevation (Photo 20).

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
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Property name Franklin Mills NPS Project Number _____
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- Despite the addition of interior partitions, which divide many of the original open spaces, the interior retains the original industrial character, with many areas of exposed brick, exposed wood framing, wood flooring, and decking at ceilings between beams (Photos 71 and 89).
- The fifth floor remains a large open space (Photos 105).
- The historic wood staircase remains in the tower on the south wall (Photo 82).
- Examples of the historic metal-clad fire doors at the party walls remain in several locations (Photo 88).

Mill #3 (ca. 1890)

- Mill #3 currently has three exposed floors above a raised ground level (Photo 33).
- The building is thirteen bays wide and four bays deep.
- The top floor was added in 1904.
- The building is constructed of red brick and has segmental arched window openings (Photos 41 and 42).
- Many openings hold modern replacement windows, although a number of original wood windows remain at ground level, at the north elevation, and at the east elevation; window openings originally held paired windows (Photo 38, 39, and 44). The added fourth floor retains the historic 12/12 wood double-hung windows at the west elevation (Photo 44).
- The building has a pitched roof finished with a recent rubber membrane; the roofline is defined by deep eaves with exposed rafter ends (Photo 41).
- Several windows at the west end of the north elevation were infilled with brick, most when the connector to Mill #1 was enlarged (Photo 43).
- A modern entry enclosure was constructed at the main entry (Photo 34).
- A window opening at the first floor of the south elevation was converted to an entrance (Photo 36). A modern wood access ramp was constructed at this entrance.
- A metal fire escape was added at the east end of the south elevation (Photo 37).
- Two connectors historically provided access between Mill #3 to Mill #1 – the west connector was enlarged and altered significantly (ca. 2000 - Photo 45), while the east connector remains a one-story enclosed bridge but has modern siding (Photo 44 and 150).
- A modern one-story addition is located between the two connectors (Photo 150).
- There is a one-story addition off the east end of Mill #3 – an addition was constructed in this location around 1900 and enlarged ca. 1905; it was more recently heavily renovated so that little historic fabric remains visible on the exterior (Photo 46).
- Despite the addition of interior partitions, which subdivide the original open spaces, the interior retains the original industrial character, with many areas of exposed brick, exposed wood framing, wood flooring, and decking at ceilings between beams (Photos 111, 112, 113 and 117).

Dye House #1 (ca. 1895)

- This building is not highly visible due to its location along the river, with heavy vegetation on opposite bank, and being covered on the south side by the former boiler house.
- Only the north elevation is exposed; there are two fully exposed floors at the north (Photo 24).
- The building is ten bays wide and two bays deep.
- It is constructed of red brick with plain rough-cut granite sills and lintels at window openings; most window openings retain historic 12/12 wood double-hung windows.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
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Property name Franklin Mills NPS Project Number _____
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- The building has a pitched roof finished with a recent rubber membrane; the roofline is defined by deep eaves with a wood plank soffit and exposed rafter ends.
- Despite the addition of interior partitions, which subdivide the original open spaces, the interior retains the original industrial character, with many areas of exposed brick, exposed wood framing, wood flooring, and decking at ceilings between beams (Photos 127-131).

Finishing Building (ca. 1925)

- The Finishing Building has two fully-exposed floors at the north and west elevations (Photos 28-30); the upper floor rises above Dye House #1 at the east elevation (Photo 27) and above a large modern addition at the south elevation (Photo 31).
- The building is fifteen bays wide and six bays deep.
- There is a two-bay clipped corner (northwest corner), resulting in an irregular footprint (Photo 29).
- An early three-story brick stair tower is located near the southeast corner of the building (Photo 27); the tower features a corbelled brick cornice and skylight.
- The Finishing Building is constructed of red brick with original segmental arch window openings with cast concrete sills at the north and west elevations; most openings retain the original wood windows. Windows at the north elevation are set in wide openings with paired double-hung wood windows in a 9/9 configuration (Photo 29). The west elevation has a mix of paired and single windows (Photo 30).
- Three rectangular window openings were added at the second floor of the east elevation; these hold historic multi-pane steel windows (Photo 24).
- Fenestration has been modified at the west elevation, most notably at the first floor where two large loading bays were added alongside a pedestrian entry – all openings hold modern doors (Photo 30).
- The building has a pitched roof finished with a recent rubber membrane; the roofline is defined by corbelled brick cornice. An older monitor at the center of the roof is now covered by modern siding (Photos 28 and 137).
- Several original windows were infilled at the west elevation when a large modern addition was constructed off the south end (Photo 30).
- An entry at the second floor of the east elevation (for access to the roof of Dye House #1) holds an older metal clad door (Photo 24).
- Despite the addition of interior partitions, which divide many of the original open spaces, the interior retains the original industrial character, with many areas of exposed brick, exposed wood framing, wood flooring, and decking at ceilings between beams (Photos 135-137).
- A large historic sliding metal-clad fire door remains along the east wall (Photo 138).

Dye House #2 (ca. 1920; ca. 1930)

- This single-story building was constructed as a free-standing structure in two principal phases: the eleven easternmost bays were built ca. 1920, while the nine westernmost bays were added ca. 1930 (Photo 48).
- The south elevation is fully exposed, while the side walls are partially covered by later additions (Photos 52 and 53). The north elevation is entirely covered by a large modern addition.
- The building is eight bays deep and constructed of red brick.
- Walls rise from a poured concrete foundation (now painted).

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
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- Narrow brick piers divide elevations into large window bays with segmental arched brick openings (Photo 50).
- The south elevation remains largely intact, with the original paired multi-pane wood windows in place (covered by green screening).
- The building has a pitched roof with a large monitor over the original ca. 1920 section; the monitor is now covered by modern siding but remains largely intact beneath (Photo 49).
- The roofline is defined by deep eaves, a wood fascia, and exposed rafter ends (Photo 54).
- A historic loading bay with original paneled wood double doors remains at the south elevation (Photo 51).
- A large garage door and a pedestrian entry were added in place of original windows at the west elevation (Photo 52).
- Several windows at the elevation were infilled (Photo 53).
- A few partitions have been added at the west end of the building, but most of the building is a single large open space. The interior retains the original industrial character, with many areas of exposed brick, exposed wood and steel framing, concrete slab, and wood decking at ceilings between beams (Photos 140-143).

Boiler House (ca. 1865 with significant alteration)

- Part of the original construction in the complex included a small one-story brick boiler house, attached to the east end of the south elevation of Dye House #1. The boiler house was enlarged around 1890. The tall brick stack that was once attached to the boiler house is no longer extant. More recently, an addition with loading bays was constructed along the south side of the boiler house, obscuring the historic brick wall (Photos 25 and 26).

Coal House (ca. 1895)

- The coal house was built between 1892 and 1897, at the same time the boiler house was enlarged. The coal house extends off the south side of the boiler house and was constructed largely below grade, so that only a few feet of its brick walls were visible from the exterior (Photo 151). The structure is enclosed by a pitched tar roof with simple wood fascia boards. Only the east side of the structure is visible today, as poured concrete walls were constructed over the south and west sides (Photo 152).

Brick Structure

- There is a small brick structure with a hip roof located just south of the coal house (Photo 152). Little is known about the structure but it is believed to have been associated with the boiler house and/or coal house, possibly a mechanical chase or vent. It does not appear on the 1943 Sanborn map and may have been built after the period of significance, which ends in 1949.

Modern Infill Addition (built in various stages after 1956)

- The large infill addition at the west end of the complex was constructed in various stages using CMU and brick. The structure is one-story tall and has an irregular footprint (Photos 56-59). The

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
CONTINUATION SHEET**

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addition has undergone many changes to fenestration, with a number of doors and windows being blocked and/or added.

The seven principal historic buildings (Mill #1, Picker House, Mill #2, Dye House #1, Mill #3, Finishing Building, and Dye House #2) retain architectural integrity, exhibiting character defining features of late 19th and early 20th century mill buildings. The Boiler House has been obscured by a modern addition so that no historic fabric is visible from the exterior, although the interior brick walls are visible. The former coal house was built largely below grade, with only the upper portion of the brick walls exposed. Poured concrete walls now cover two of the three walls that were originally exposed, a change that is not easily reversible. This utilitarian structure has little architectural value and has been quite significantly modified. The modern infill addition between the Finishing Building and Dye House #2 was constructed after the period of significance for the district (1825-1949) and has no architectural design elements of distinction.

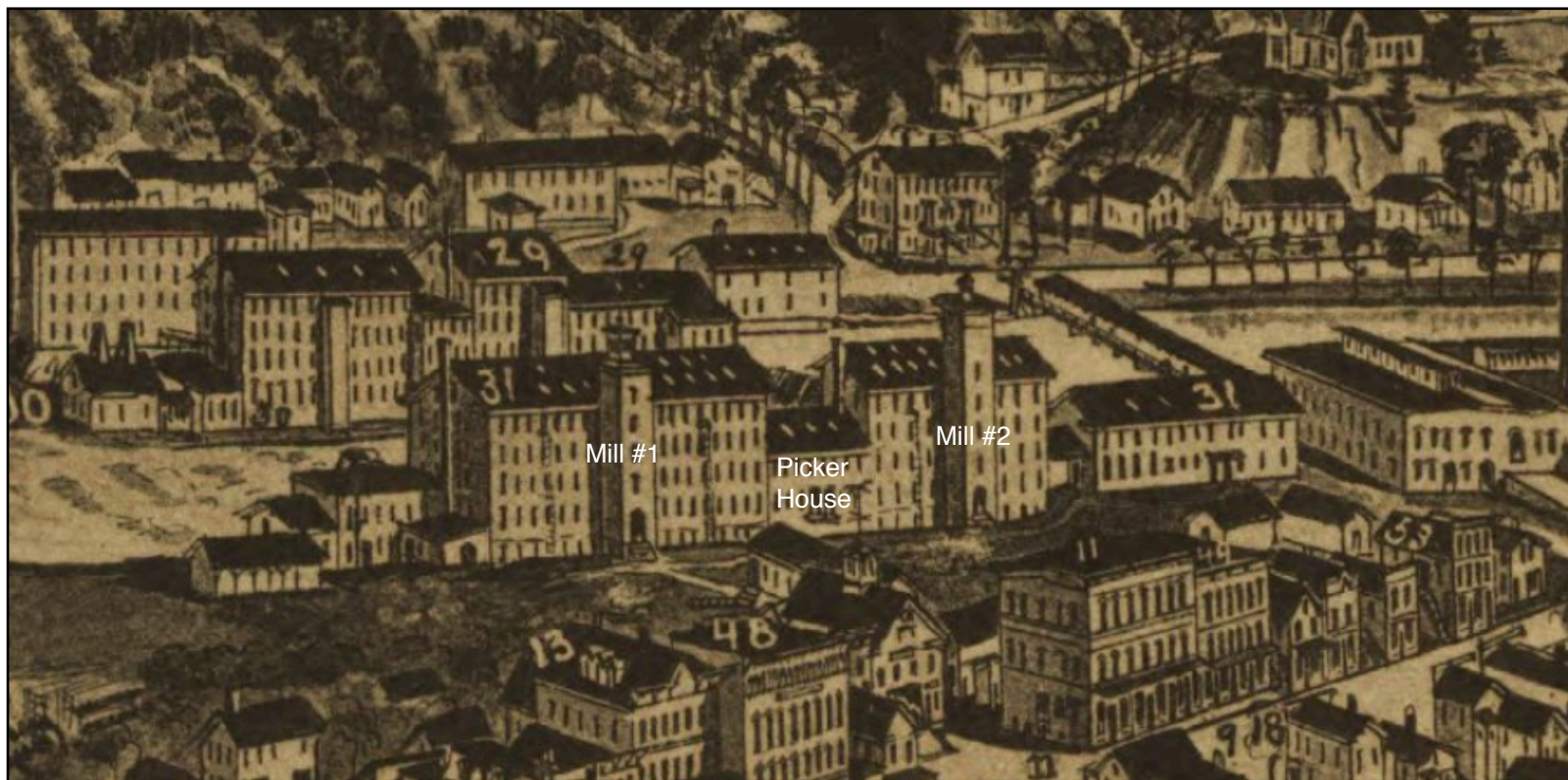
6. Statement of Significance

The Franklin Mills complex is a contributing resource within the Franklin Falls Historic District. The district is significant as a well-preserved collection of industrial, commercial, and public buildings constructed between 1825 and 1949. This New Hampshire mill town includes several 19th century industrial complexes that remain remarkably intact, including the Franklin Mills. Beginning around 1865, the Franklin Mills were a major contributor to the local economy for over a century, employing large numbers of residents in the production of textiles (primarily wool).

Although European settlement in the Franklin area dates to the mid-18th century, the town was not incorporated until 1828. As early as the 1820s the water power of the Winnepesaukee River falls was utilized for industry. A paper mill began operations in 1821 on the south side of the river at the falls (future location of the Franklin Mills). The Smithville cotton mill was built nearby in 1822, followed by a second paper mill in 1827. By 1840 the town's population had increased to 1400. Transportation improvements in the mid-19th century brought expanded development around Franklin Falls after 1846 when the Northern Railway established a depot (no longer extant) at the southern edge of the Franklin Falls Historic District. The power potential of the Winnepesaukee River and access to markets afforded by the railroad spurred industrial and commercial expansion in the town center. Among the first to take advantage of such ideal conditions was Walter Aiken, who opened Aiken Hosiery Mill in 1864.

The Franklin Falls Company purchased several parcels of land in Franklin in 1865, including a lot on the south side of the Winnepesaukee River where they built the earliest of the Franklin Mills that are on the site today (Mill #1, Mill #2, Picker House, Dye House #1, and Boiler House). The mills were initially occupied by the Franklin Woolen Company (wool fabric) and Taylor & Company (product unknown). However, the Franklin Mills complex is most closely associated with M.T. Stevens & Company, a large woolen manufacturing company who occupied the facility for a century, from 1871 until 1971 when it was the last major mill in Franklin to close down. M.T. Stevens was most well known for producing woolen dress goods but also made silk and cotton cloth. At the time they began operations in Franklin, the company also had factories in Andover and North Andover, Massachusetts. By 1900 the company was employing many of the Franklin's 6,000 residents. In the early 20th century M.T. Stevens & Company expanded production, adding nine additional New England factories to their holdings.

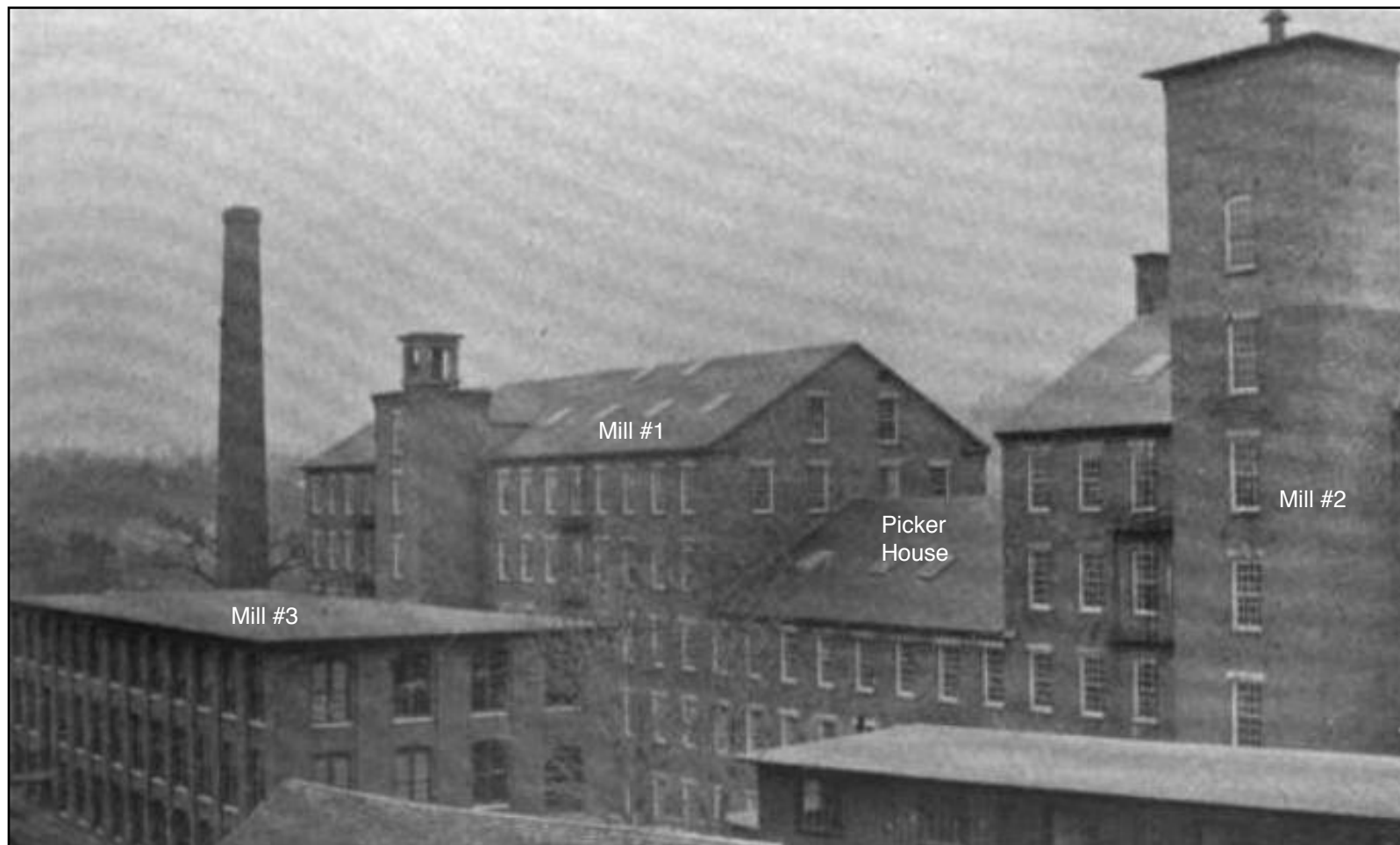
Today the Franklin Mills are occupied by a variety of small businesses. Plans are underway to rehabilitate the complex using federal historic tax credits.



ESSEX
Preservation Consulting

**FRANKLIN MILLS
FRANKLIN, NEW HAMPSHIRE**

1884 BIRDS EYE VIEW









ESSEX
Preservation Consulting

**FRANKLIN MILLS
FRANKLIN, NEW HAMPSHIRE**

**POST-1925 VIEW
after construction of Finishing Building**

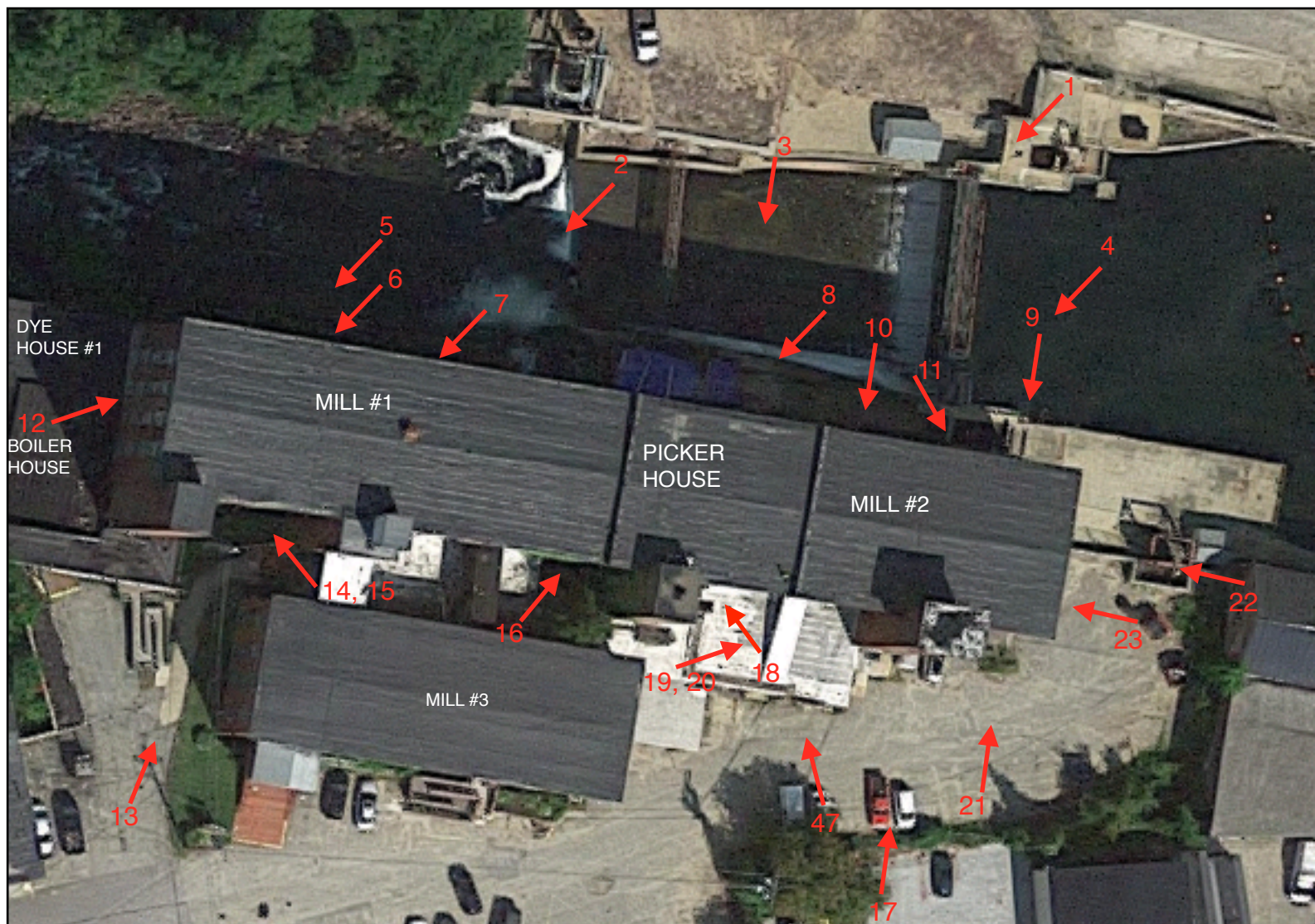


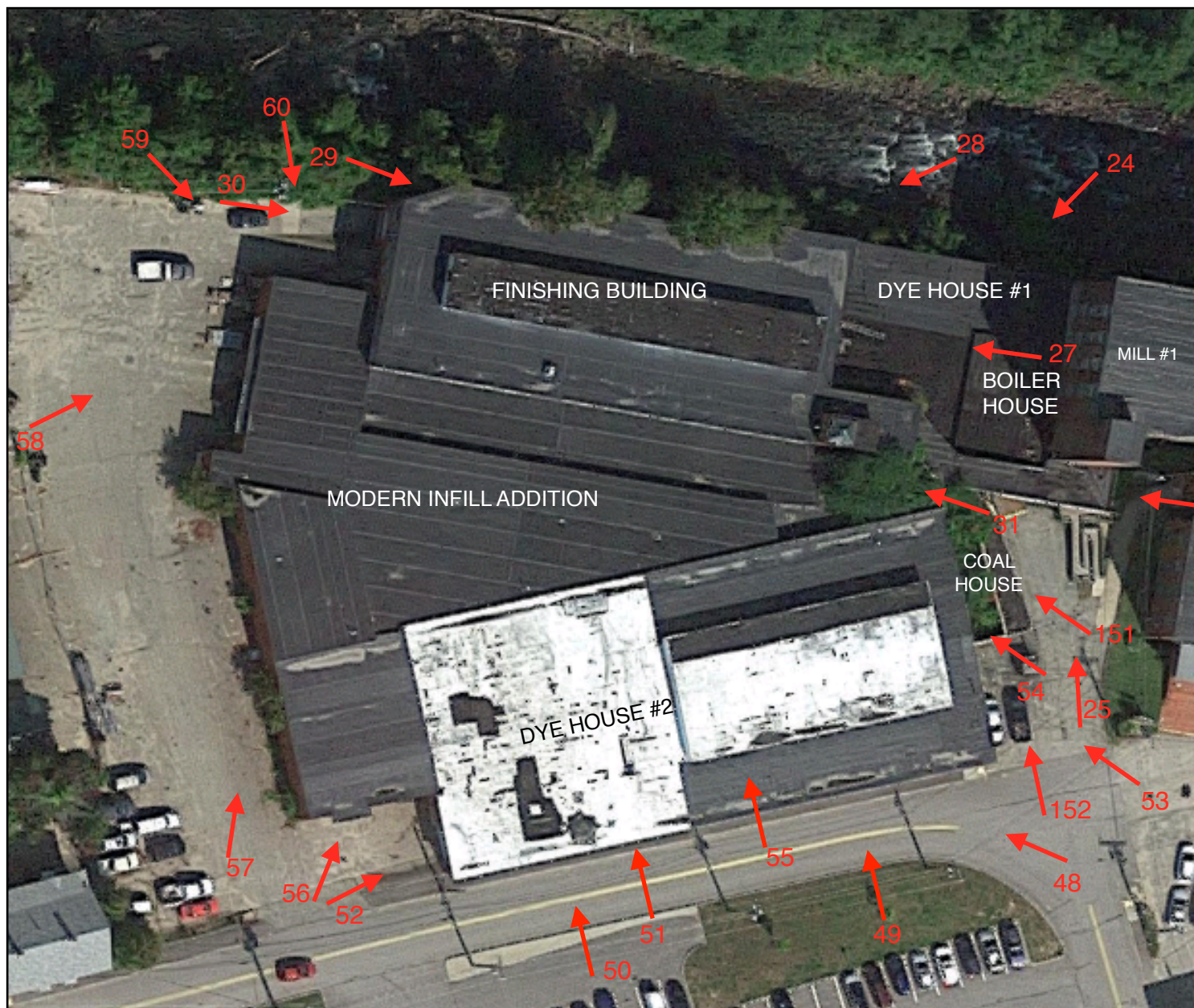
ESSEX
Preservation Consulting

**FRANKLIN MILLS
FRANKLIN, NEW HAMPSHIRE**

**EARLY 20TH CENTURY VIEW
showing Mill 3 before grade was raised above
Level 0**





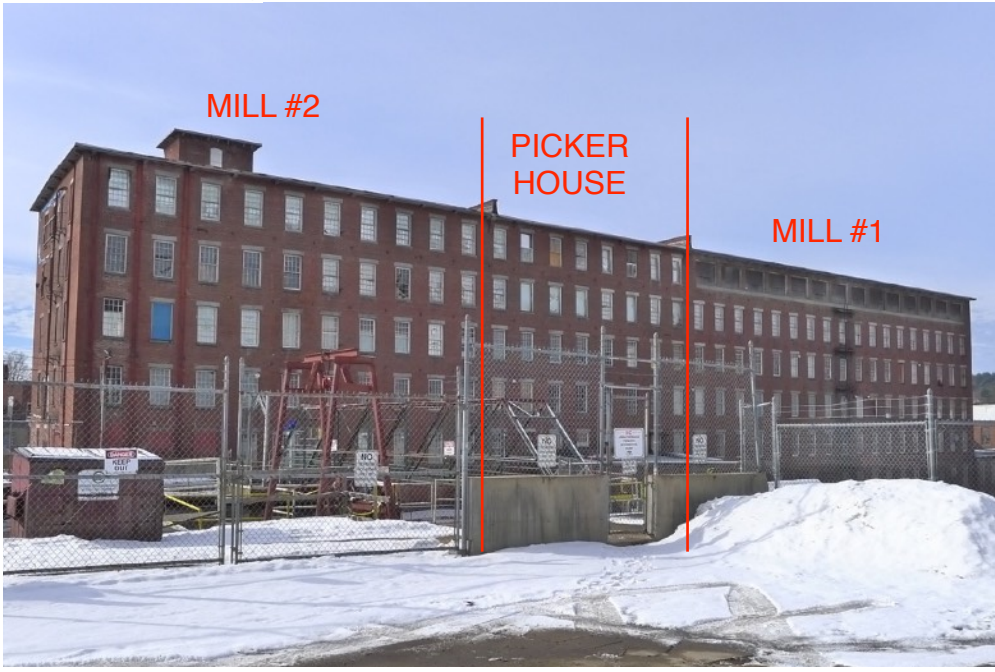


**FRANKLIN MILLS
FRANKLIN, NEW HAMPSHIRE**

HPCA PHOTO KEY - EXTERIOR PHOTOS
DYE HOUSE #1, BOILER HOUSE, FINISHING
BUILDING, DYE HOUSE #2, COAL HOUSE, and
MODERN INFILL ADDITION







1 | North Elevation - Mill #1, Picker House, and Mill #2 (right to left)



2 | Mill #1 - North Elevation



3 | Picker House - North Elevation



4 | Mill #2 - North Elevation



5 Mill #1 - North Elevation - detail at west end



6 Mill #1 - North Elevation - detail at upper floors showing modified windows at top floor



7 Mill #1 - North Elevation - detail at lower level showing modified window openings



8 Picker House - North Elevation - detail of ca. 1895 wheel house addition



9 | Mill #2 - North Elevation - detail at east end



10 | Mill #2 - North Elevation - detail at lower level showing infilled windows



11 | Mill #2 - North Elevation - detail at lower level showing infilled windows



12 | Mill #1 - West Elevation



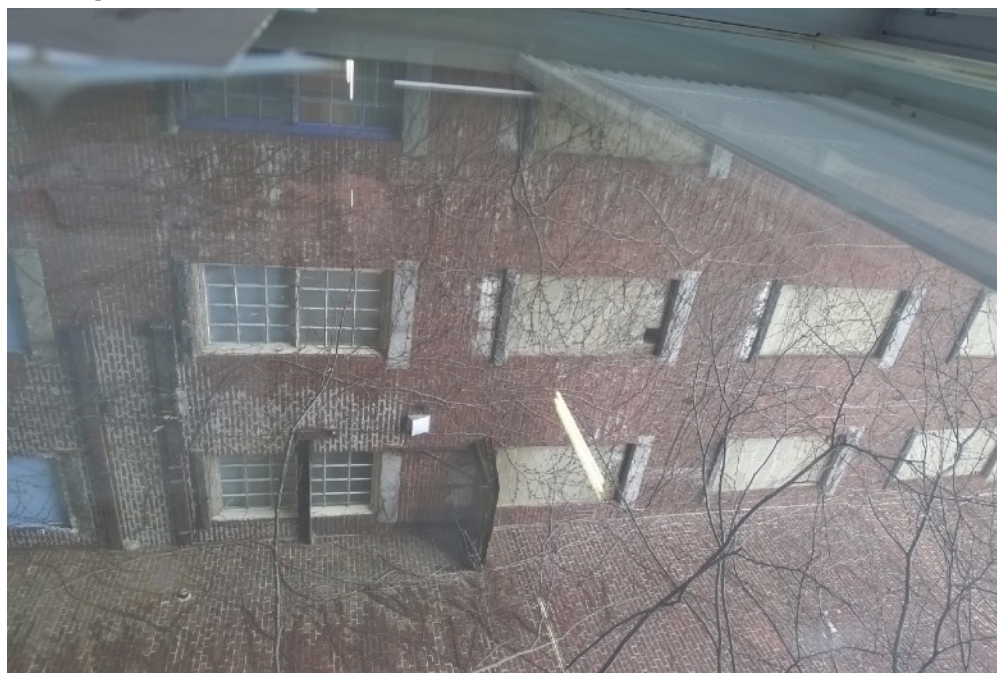
13 | Mill #1 - South Elevation - view at west end



14 | Mill #1 - South Elevation - detail at west end showing windows at lower level



15 | Mill #1 - South Elevation - detail at west end showing windows at upper floors



16 | Mill #1 - South Elevation - detail toward east end



17 | South Elevation - Mill #2 and Picker House (right to left)



18 | Picker House - South Elevation - showing added fire escape



19 | Mill #2 - South Elevation - view at east end showing roof of addition



20 | Mill #2 - South Elevation - view toward east end showing stair tower



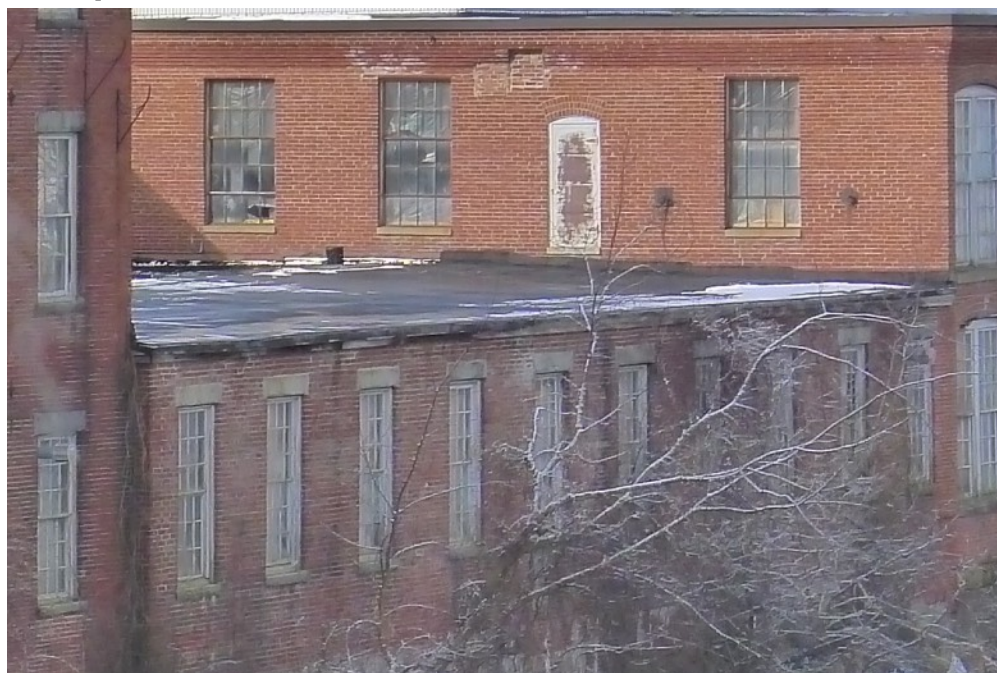
21 | Mill #2 - South Elevation - view at east end



22 | Mill #2 - East Elevation



23 | Mill #2 - East Elevation - detail of upper floor and eaves



24 | Dye House #1 - North Elevation



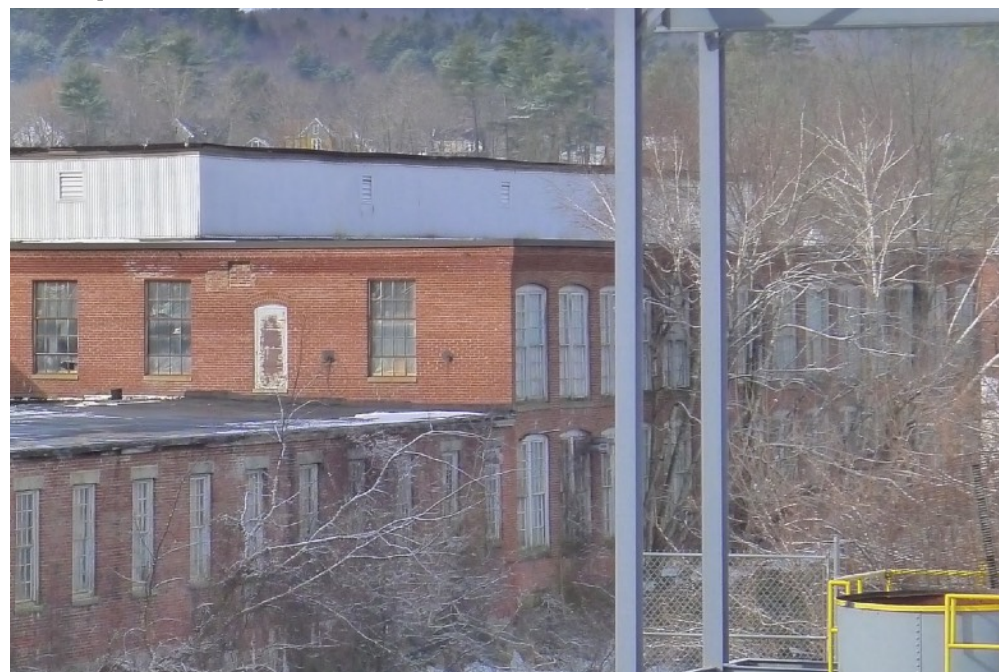
25 | Addition on south side of Dye House #1



26 | Addition on south side of Dye House #1



27 | View across Dye House #1 roof showing Finishing Building (east elevation)



28 | Finishing Building - East Elevation (left) and South Elevation (right)



29 Finishing Building - northwest corner



30 Finishing Building - West Elevation



31 View between Dye House #2 (left) and Finishing Building (center)



32 View from south showing Mill #3 (left) and Picker House/Mill #2 (right)



33 | Mill #3 - South Elevation



34 | Mill #3 - South Elevation - detail of added entry



35 | Mill #3 - South Elevation - central bays



36 | Mill #3 - South Elevation - east entry



37 Mill #3 - South Elevation - detail at east



38 Mill #3 - South Elevation - view at lower level showing original window



39 Mill #3 - East Elevation



40 Mill #3 - West Elevation



41 | Mill #3 - West Elevation - detail of historic window at added top floor



42 | Mill #3 - West Elevation - lower level



43 | Mill #3 - North Elevation - view at west end



44 | Mill #3 - North Elevation - view at east end



45 | West connector between Mill #1 and Mill #3



46 | Mill #3 - east addition



47 | Mill #2 - south addition



48 | Dye House #2 - South Elevation



49 | Dye House #2 - South Elevation - detail of ca. 1920 section (east end)



50 | Dye House #2 - South Elevation - detail of ca. 1930 section (west end)



51 | Dye House #2 - South Elevation - entry near center



52 | Dye House #2 - West Elevation - view at south end



53 | Dye House #2 - East Elevation



54 | Dye House #2 - East Elevation - detail at north end



55 | Dye House #2 - detail of covered monitor



56 | Modern infill addition - south elevation



57 | Modern infill addition - west elevation - view at south end



58 | Modern infill addition - west elevation - view at north end



59 | Modern infill addition - west elevation (right) and north elevation (left)



60 | Mill #2 - west elevation (left) and modern infill addition - north elevation (right)

ATTACHMENT [3]
NPS DRAWINGS

The Steven's Mill Redevelopment
20 Canal St. Frank

Building C

Additions & infills

Building D

Bldg E

Bldg F

Building A

Pedestrian Bridge

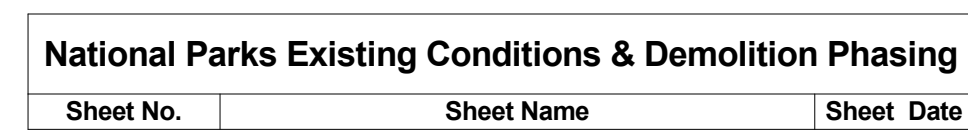
Fire Walls

Building B

Tunnels & Footings

Modern Ramp Access & Fire Escape

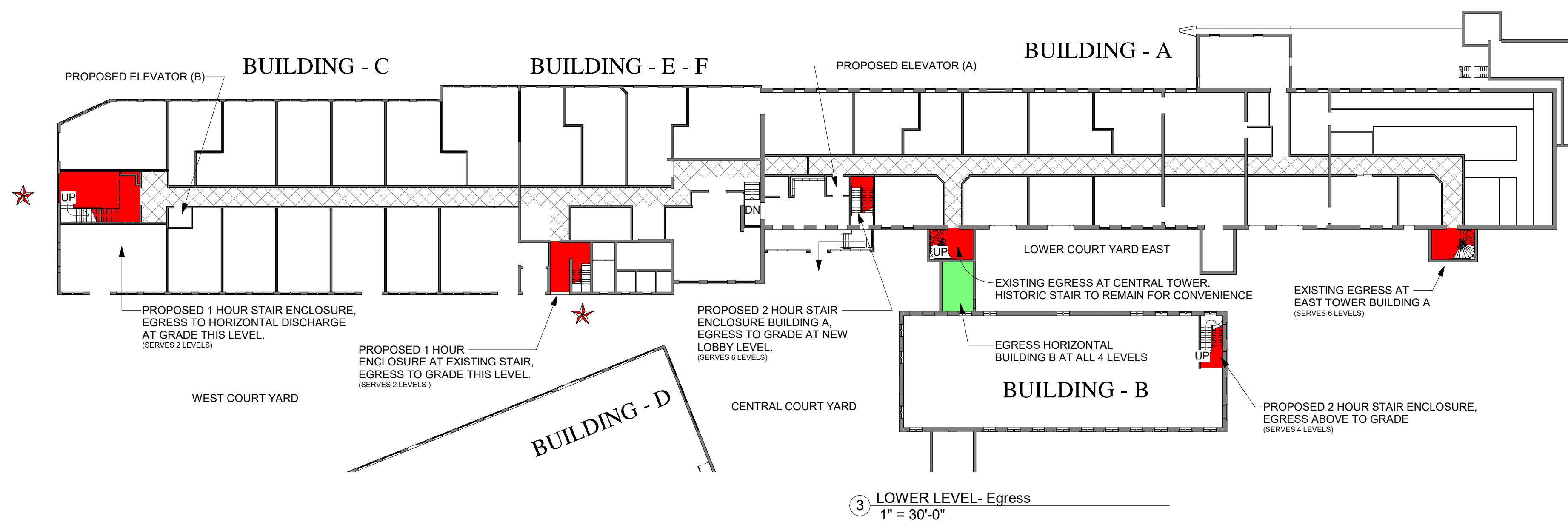
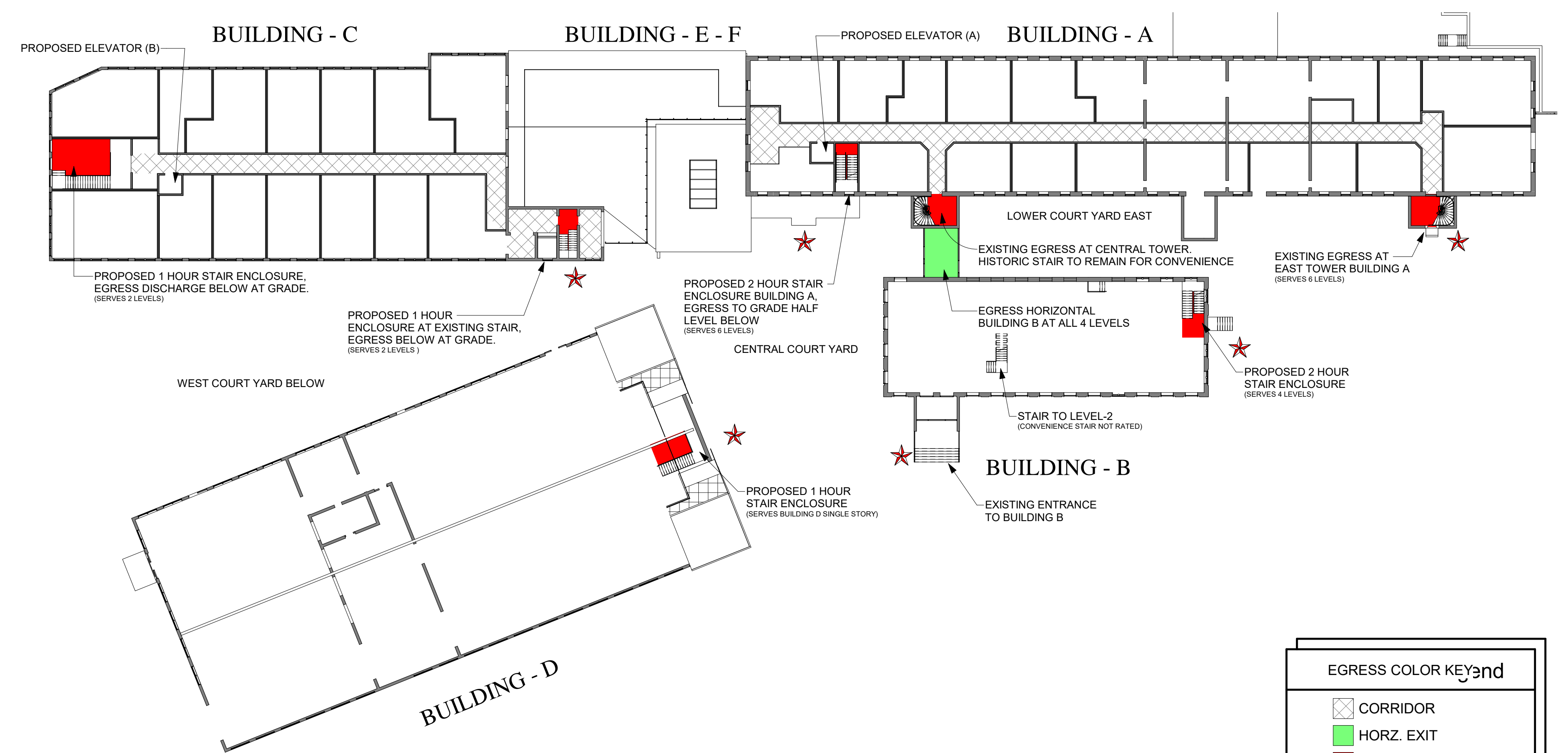
1 Demolition Southeast Perspective







NP	COVER	03/24/21
1. Floor Plan		
a.NP.1.0	BLDG-A Lower Level	03/24/21
a.NP.1.1	BLDG-A First Floor	03/24/21
a.NP.1.3	BLDG-A Second & Third Floor	03/24/21
a.NP.1.4	BLDG-A Fourth & Fifth Floor	03/24/21
a.NP.1.5	BLDG-A Roof Top & Towers	03/24/21
b.NP.1.0	BLDG-B All Floors 1-4	03/24/21
c.NP.1.0	BLDG-C Lower Level	03/24/21
c.NP.1.1	BLDG-C Second Floor	03/24/21
d.NP.1.1	BLDG-D Ground Level	03/24/21
2. Elevation		
NP-2.0	NP-Bldg-A North/South	03/24/21
NP-2.1	NP-Bldg-A&B Elevation N/S/E/W	03/24/21
NP-2.3	NP-Bldg-D Elevation N/S/E/W	03/24/21
NP-2.4	NP-Bldg E,F&C Elevation N/S/E/W	03/24/21
3. Section		
a.NP.3.1	Bldg-A Sections	03/24/21
a.NP.3.1	Bldg-A Tower Sections	03/24/21
a.NP.3.2	Bldg-E,F,C Sections	03/24/21
5. Window & Door Details		
NP-5	Existing Window & Door Types & Details	03/24/21
NP-5.1	Existing Window & Door Types & Details	03/24/21

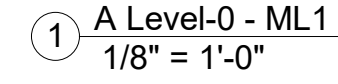
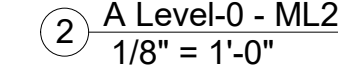
National Parks Phasing		
Sheet No.	Sheet Name	Sheet Date

GM. 1	General Core Shell R-2 Dwelling	03/24/21
a-A-1.0	Building A-E-F Proposed Lower Level	03/24/21
a-A-1.1	Building A-E-F Proposed First Floor	03/24/21
a-A-1.2	Building A-E-F Proposed Second Floor	03/24/21
a-A-1.3	Building A-E-F Proposed Third Floor	03/24/21
a-A-1.4	Building A-E-F Proposed Fourth Floor	03/24/21
a-A-1.5	Building A-E-F Proposed Fifth Floor	03/24/21
a-A-1.6	Building A-E-F Proposed Rooftop	03/24/21
a-A-2.1	Building A Proposed East/West Elevation	03/24/21
a-A-2.2	Building A Proposed North/South Elevation	03/24/21
b-A-1.1	Building B Proposed Second & Third Floor	03/24/21
c-A-1.1	Building C Proposed First Floor	03/24/21
c-A-1.3	Building C Proposed Third Floor	03/24/21
a-A-2.0	Building A Proposed North/South Elevation	03/24/21
a-A-3.0	Building A Proposed Start A Section	03/24/21
a-A-4.0	Building A Proposed Large Scale	03/24/21
a-A-6.0	Building A Details	03/24/21
a-A-6.0	Building A Schedules	03/24/21
a-A-9.0	Building A 3D Views	03/24/21
b-A-1.0	Building B Proposed Lower & First Floor	03/24/21
c-A-1.0	Building C Proposed Second Floor	03/24/21

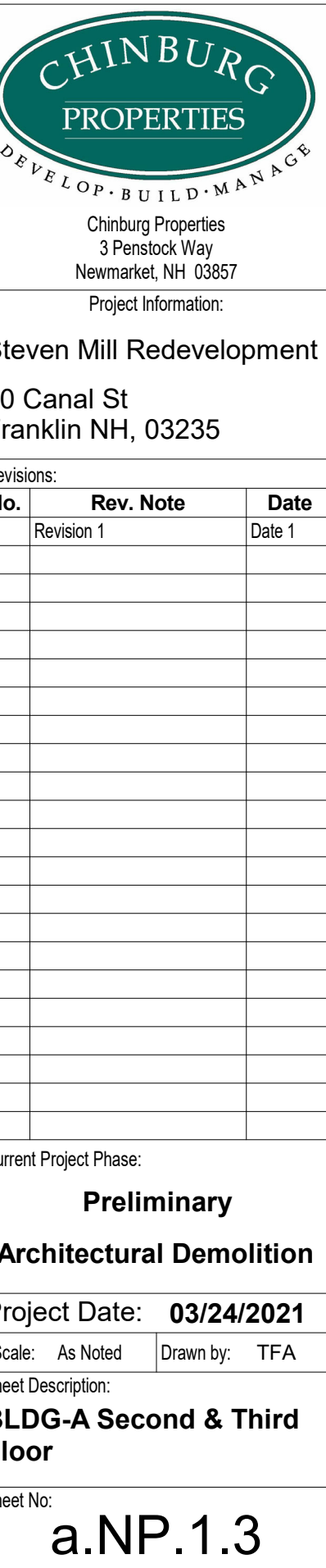


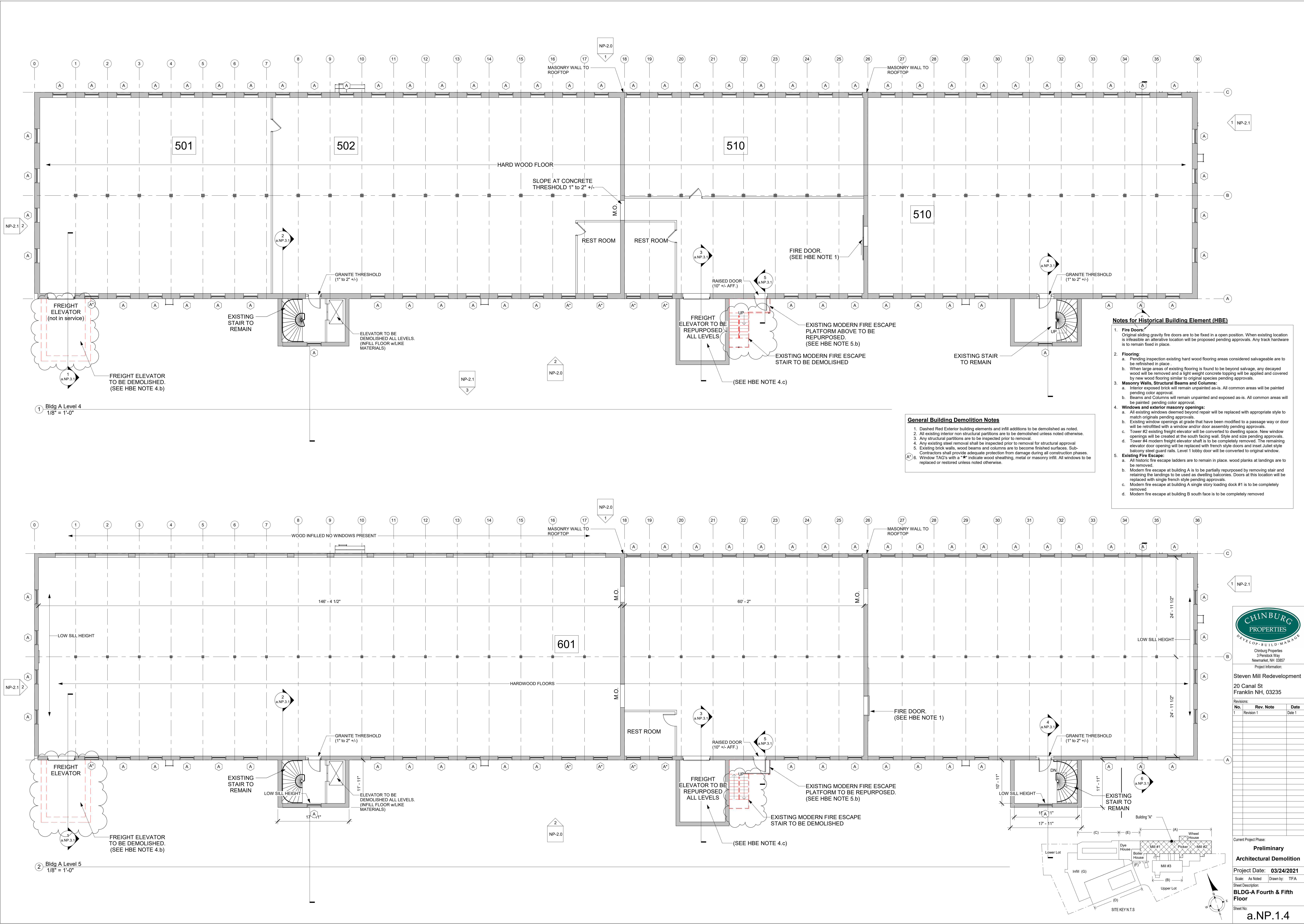
EGRESS COLOR KEY

	CORRIDOR
	HORZ. EXIT
	STAIR ENCLOSURE
	INDICATES GENERAL LOCATION OF MAJOR BUILDING EXIT



-
- Site Key N.T.S. showing the layout of the Upper Lot and Lower Lot. The Upper Lot contains Building 'A', Building 'E', Building 'F', Wheel House, Picker, Mill #1, Mill #2, Mill #3, Dye House, and Boiler House. The Lower Lot contains an Infill (G). Dimensions (A) through (G) are indicated. A north arrow is shown in the bottom right corner.



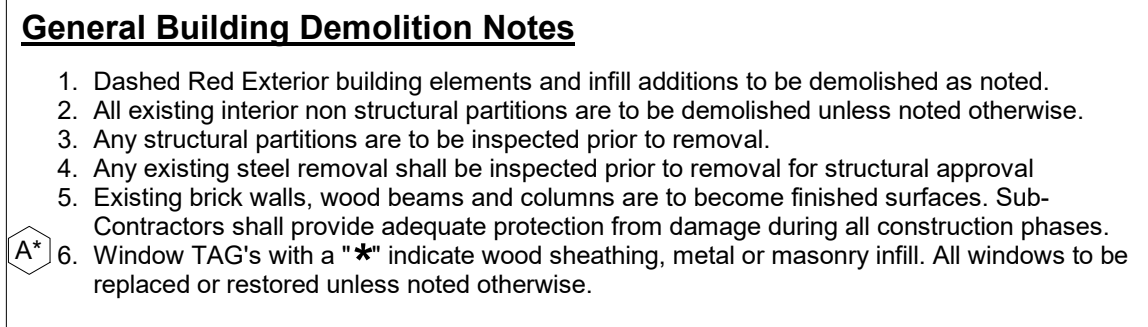


CHINBURG PROPERTIES
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Chinburg Properties
3 Pembroke Way
Newmarket, NH 03857
Project Information:

Steven Mill Redevelopment
20 Canal St
Franklin, NH 03235

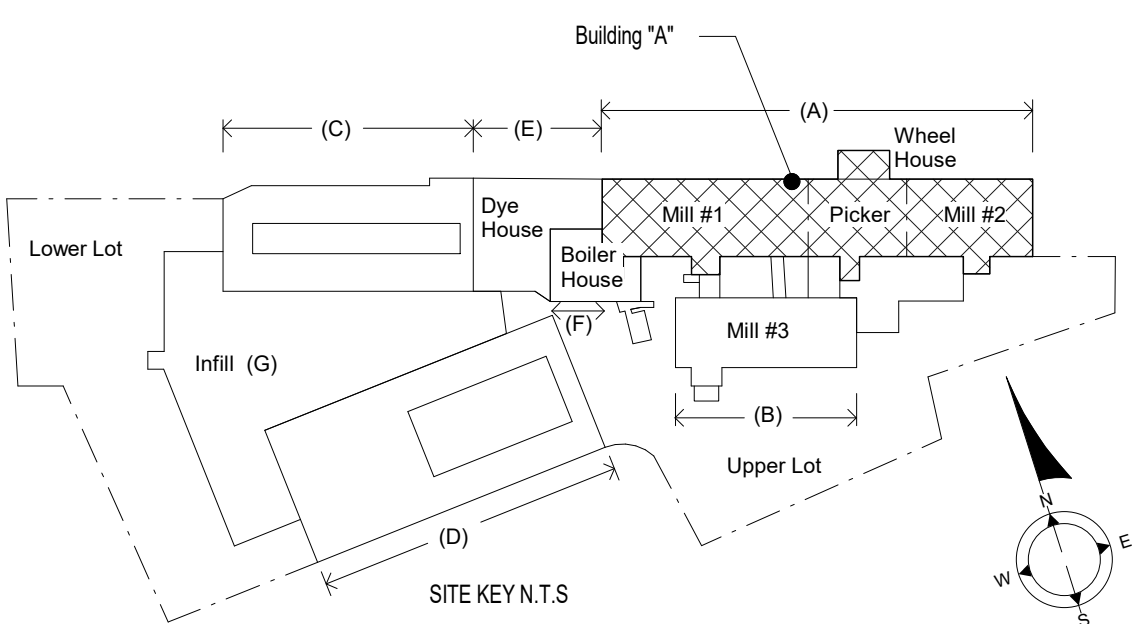
Revisions:	No.	Rev. Note	Date
1	Revision 1		Date 1

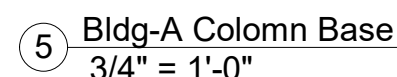
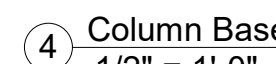
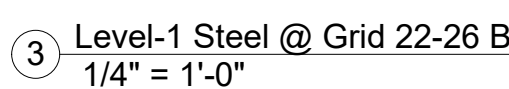
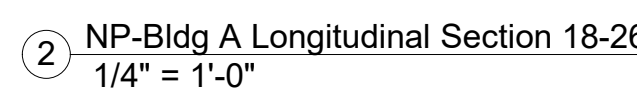
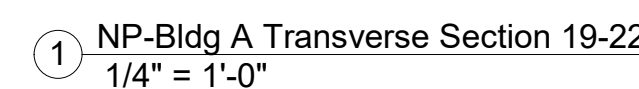
Current Project Phase: Preliminary
Architectural Demolition
Project Date: 03/24/2021
Scale: As Noted Drawn by: TFA
Sheet Description: BLDG-A Fourth & Fifth Floor
Sheet No: a.NP.1.4



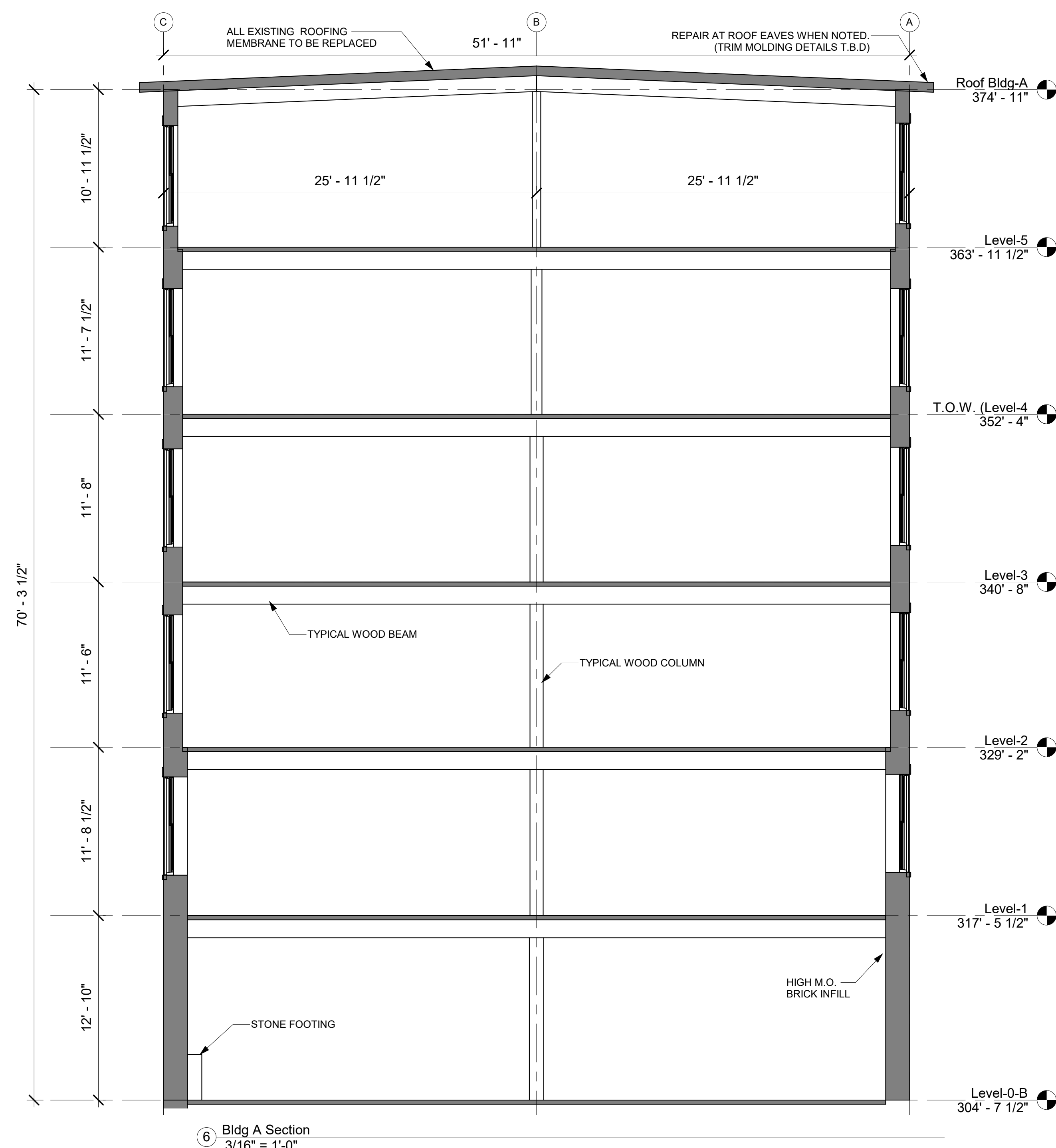
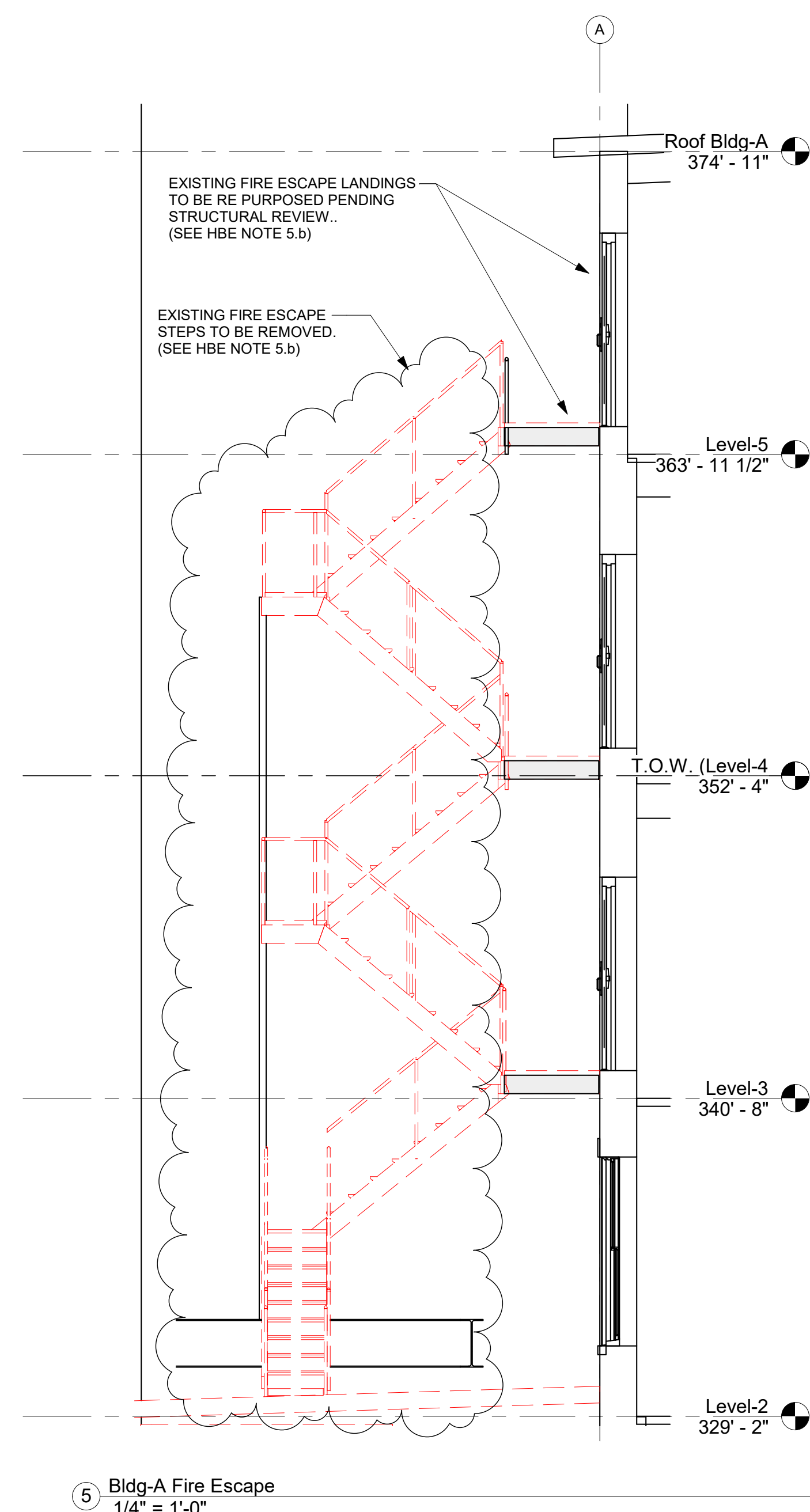
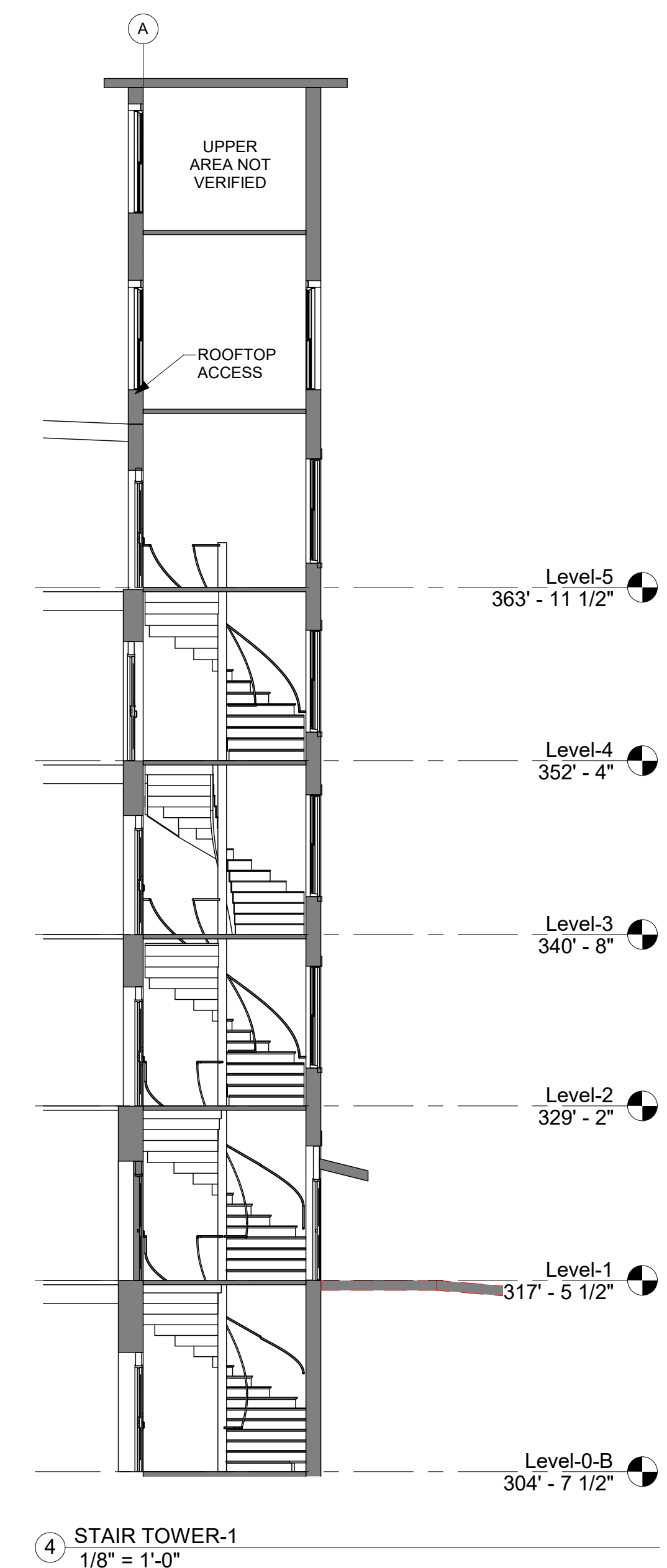
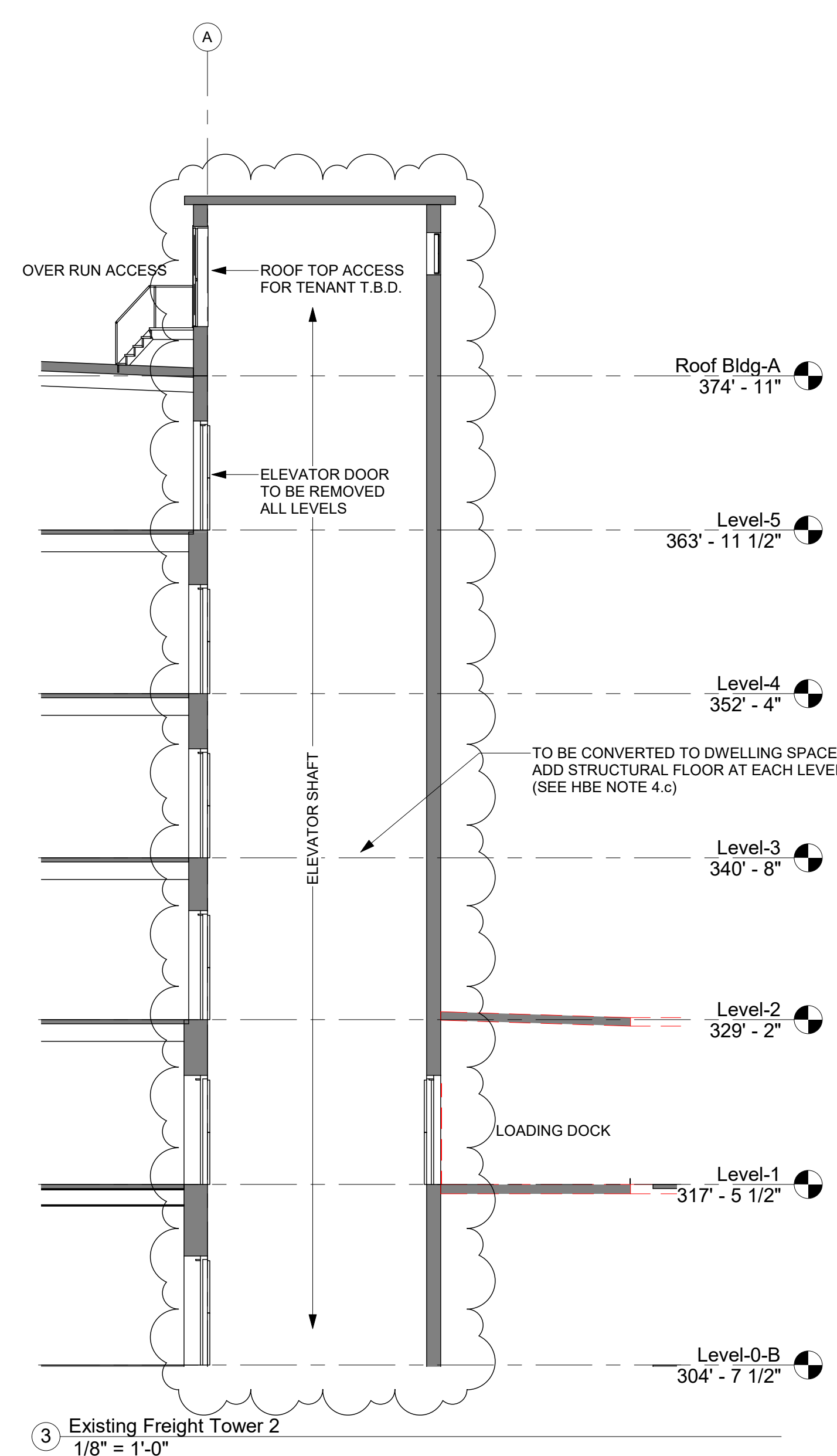
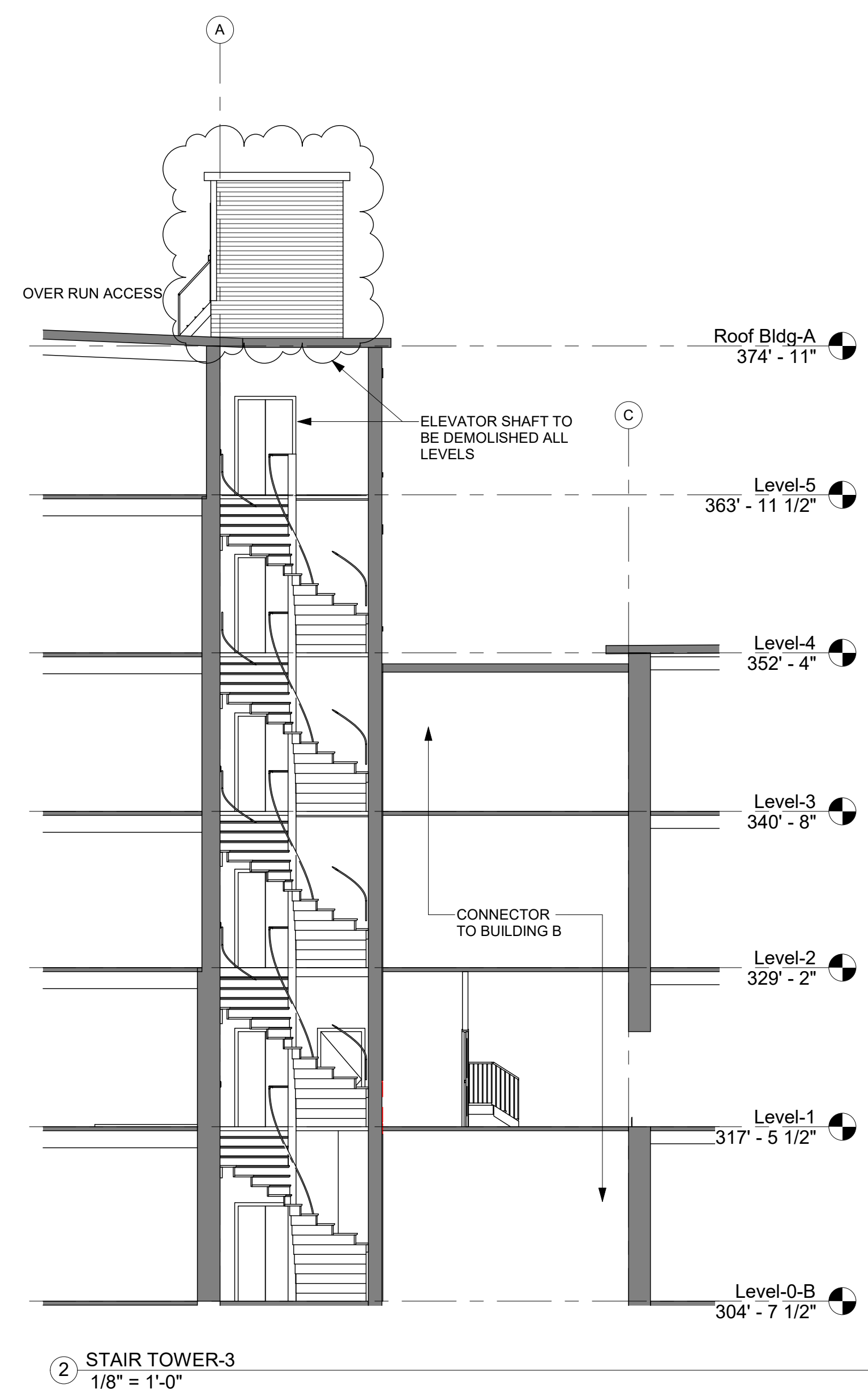
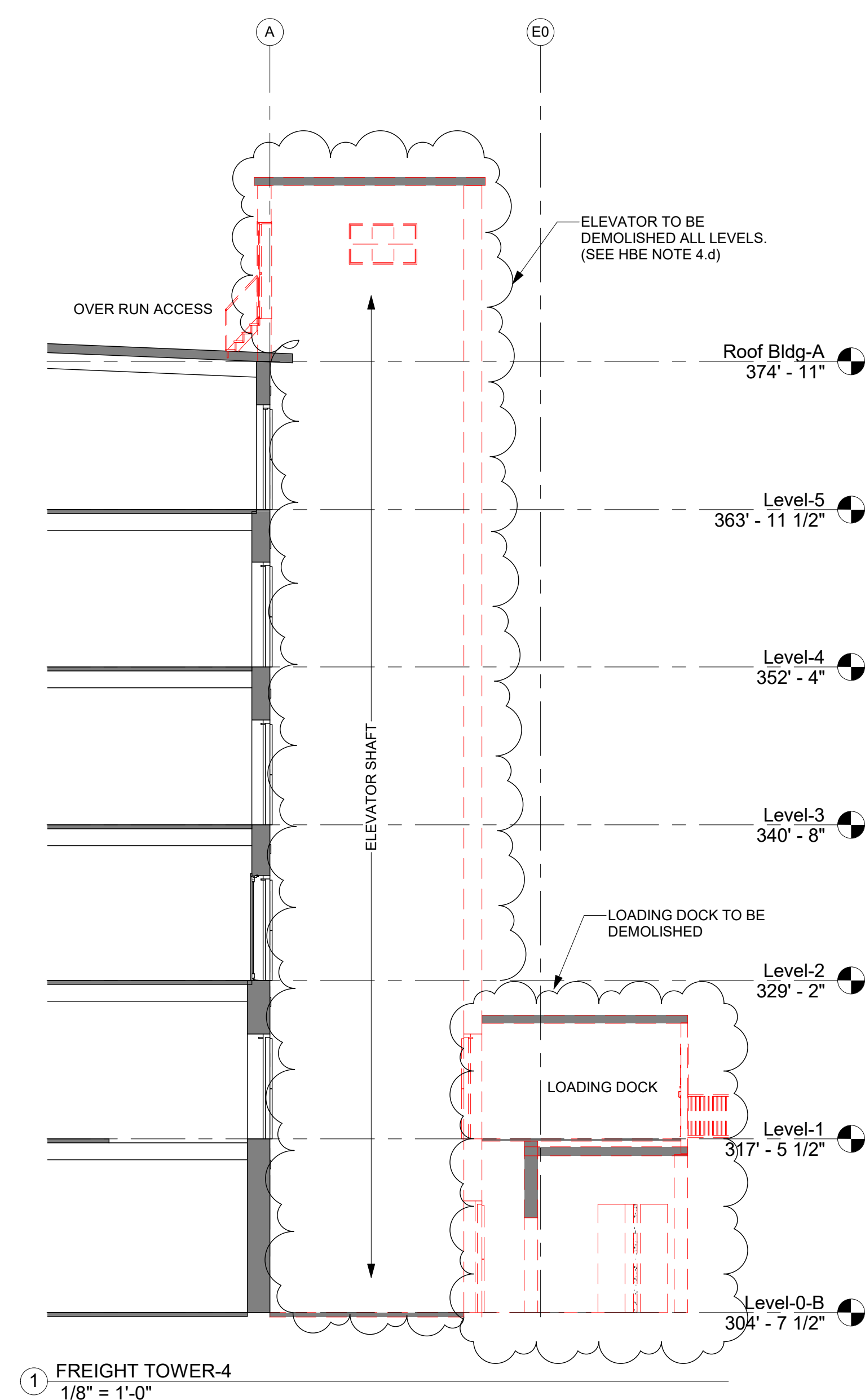
- ## Notes for Historical Building Element (HBE)
- 1. Fire Doors:**
Original sliding gravity fire doors are to be fixed in an open position. When existing location is infeasible an alternative fire door will be proposed pending approvals. Any track hardware is to remain fixed in place.
- 2. Flooring:**
a. Pending inspection existing hard wood flooring areas considered salvageable are to be refinished in place.
b. Pending large areas of existing flooring is found to be beyond salvage, any decayed wood will be removed and a lightweight concrete topping will be applied and covered with new wood flooring similar to original species pending approvals.
- 3. Masonry Walls & Structural Columns:**
a. Interior exposed brick will remain unpainted as-is. All common areas will be painted pending color approval.
b. Structural Columns will remain unpainted and exposed as-is. All common areas will be painted pending color approval.
- Windows and exterior masonry openings:**
a. All existing windows and masonry openings will be repaired to be replaced with appropriate style to match originals pending approvals.
b. Existing exterior openings that have been modified to a passage way or door will be retrofitted with a window and/or door assembly pending approvals.
- 4. Tower #2 existing freight elevator will be converted to dwelling space. New window and exterior door will be created on the south facing wall. Style and size pending approvals.**
a. Tower #4 modern freight elevator shaft is to be completely removed. The remaining elevator door opening will be replaced with french style doors and inset Juliet style windows. Guard rail, 1 foot 1 lobby door will be converted to original window.
- 5. Existing Fire Escape:**
a. All historic fire escape ladders are to remain in place. Wood planks at landings are to be removed.
b. Modern fire escape at building A is to be partially repurposed by removing stair and retaining the landings to be used as dwelling balconies. Doors at this location will be replaced with single french style pending approvals.
c. Modern fire escape at building A south style loading dock it is to be completely removed.
d. Modern fire escape at building B south face is to be completely removed

1. Dashed Red Exterior building elements and infill additions to be demolished as noted.
2. All existing interior non structural partitions are to be demolished unless noted otherwise.
3. Any structural partitions are to be inspected prior to removal.
4. Any existing steel removal shall be inspected prior to removal for structural approval
5. Existing brick walls, wood beams and columns are to become finished surfaces. Sub-Contractors shall provide adequate protection from damage during all construction phases.
6. Window TAG's with a "*" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.



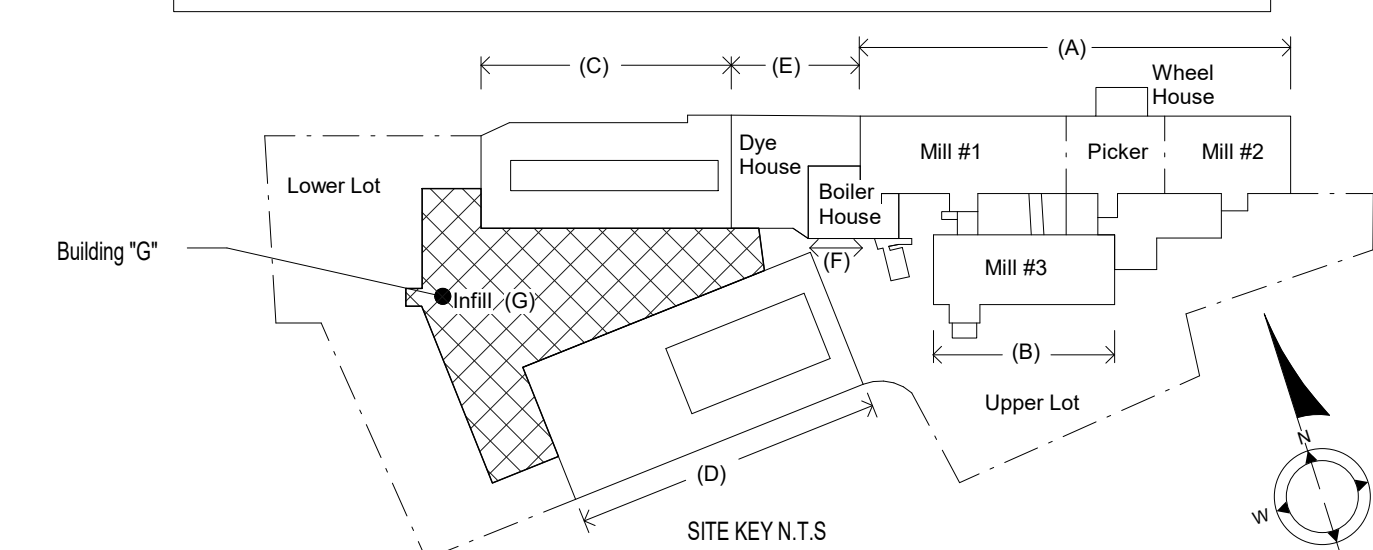


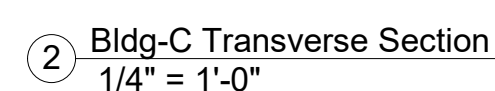
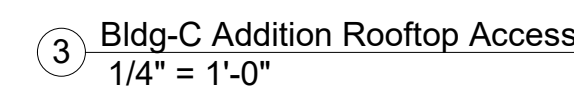
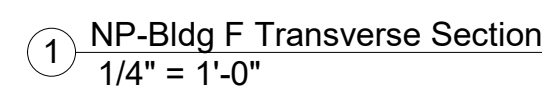
-
- Building "A"
- Lower Lot
- Upper Lot
- Infill (G)
- Dye House
- Boiler House
- Mill #1
- Mill #2
- Mill #3
- Wheel House
- Picks
- (C) (E) (A) (B) (D) (F)
- SITE KEY N.T.S.
- W N



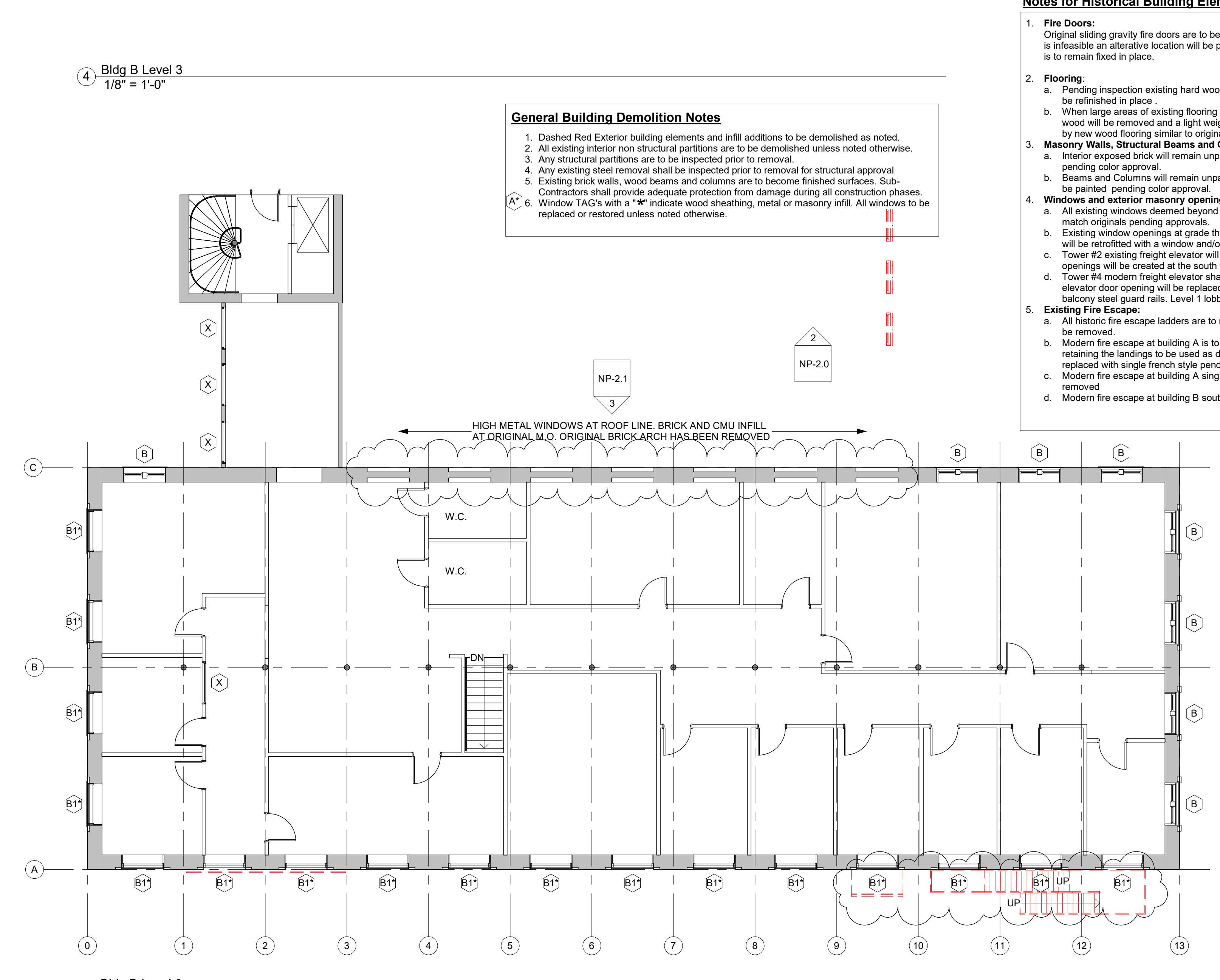
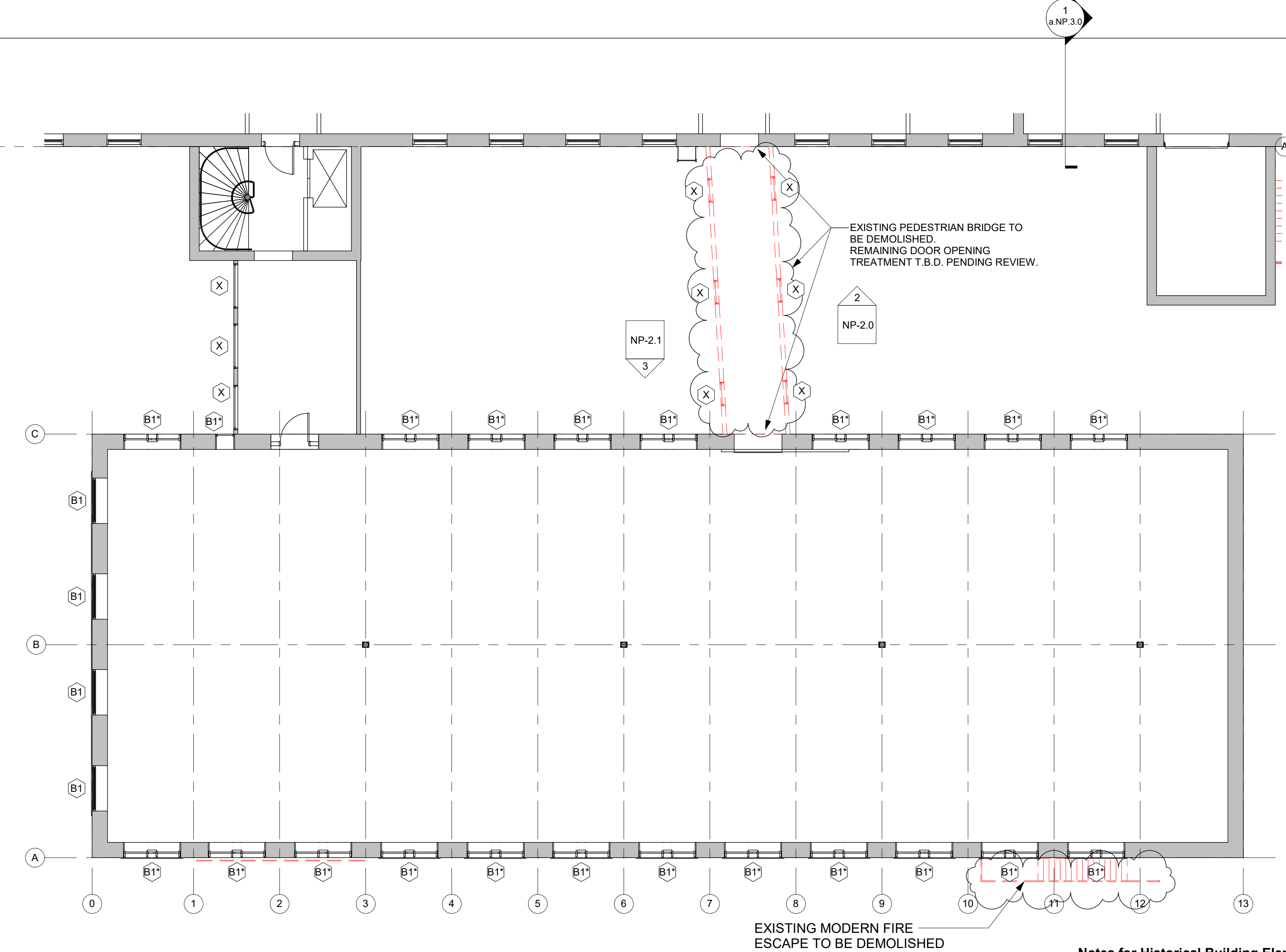
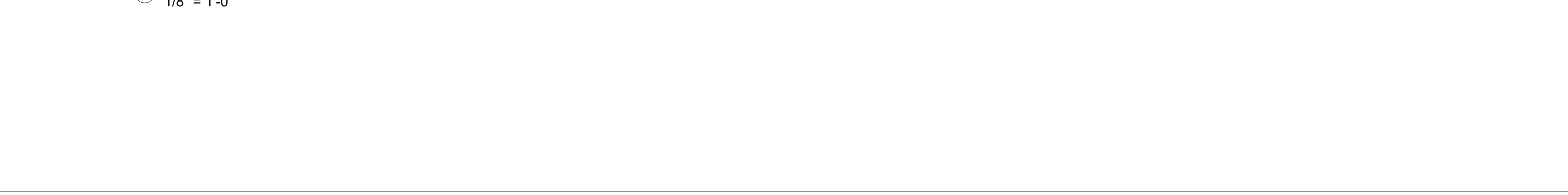
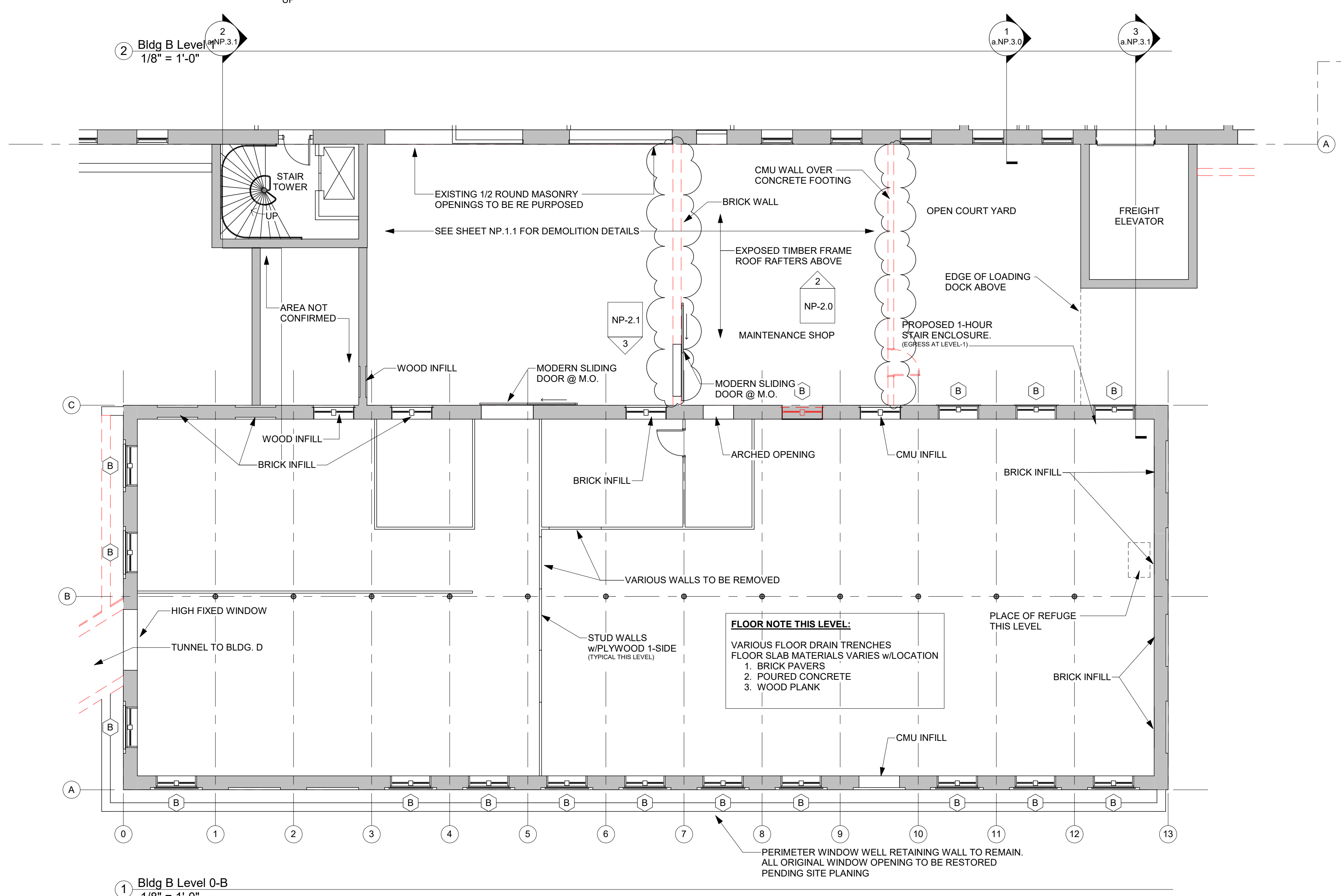
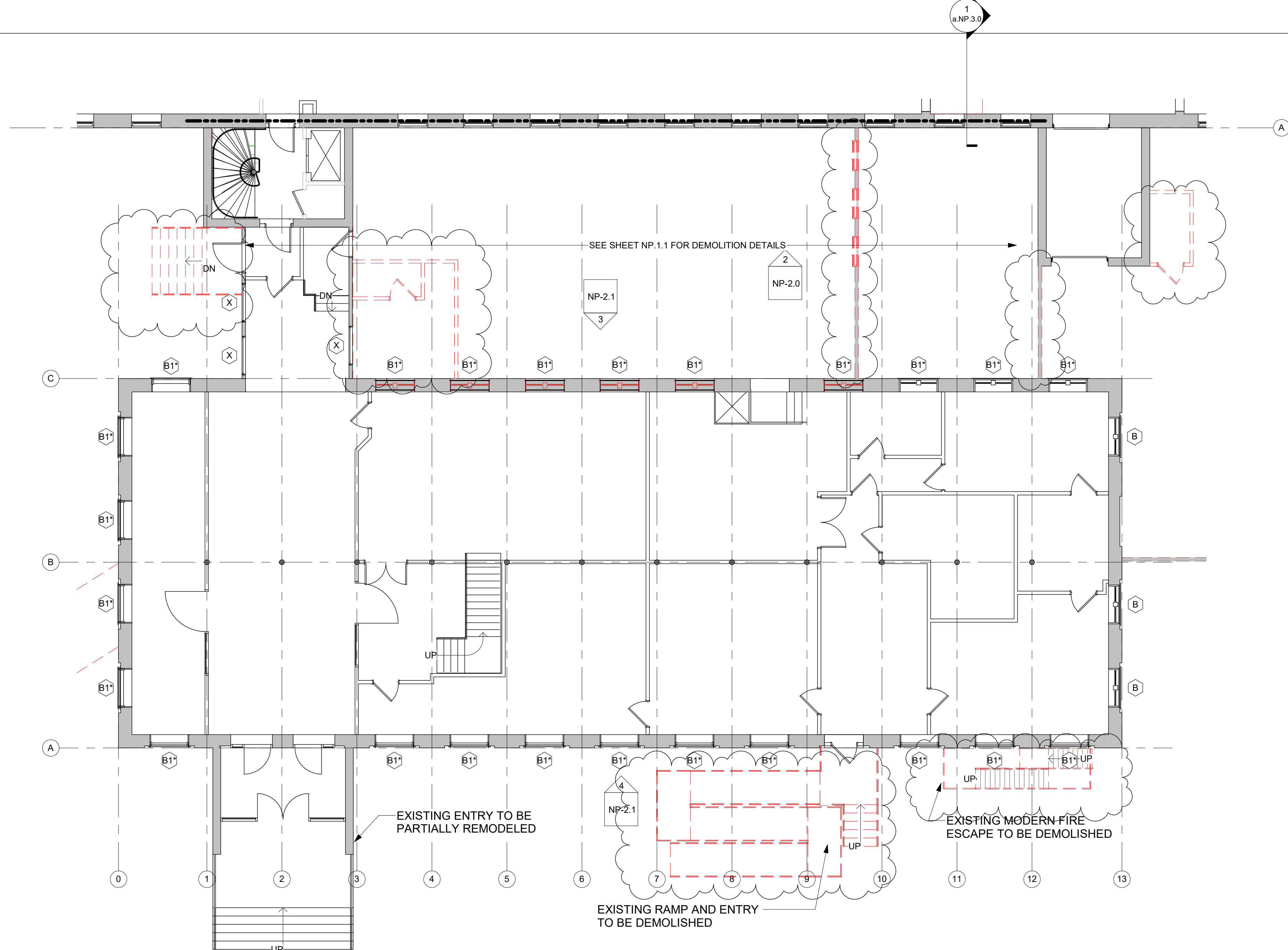
- ### General Building Demolition Notes

1. Dashed Red Exterior building elements and infill additions to be demolished as noted.
2. All existing interior non structural partitions are to be demolished unless noted otherwise.
3. Any structural partitions are to be inspected prior to removal.
4. Any existing steel removal shall be inspected prior to removal for structural approval.
5. Existing brick walls, wood beams and columns are to become finished surfaces. Sub-Contractors shall provide adequate protection from damage during all construction phases.
6. Window TAG's with a "*" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.





-
- Building C
- Lower Lot
- Infill (G)
- Dye House
- Boiler House
- Mill #1
- Mill #2
- Picker
- Wheel House
- Upper Lot
- Dimensions: (A), (B), (C), (D), (E), (F)
- SITE KEY PLAN
- North Arrow

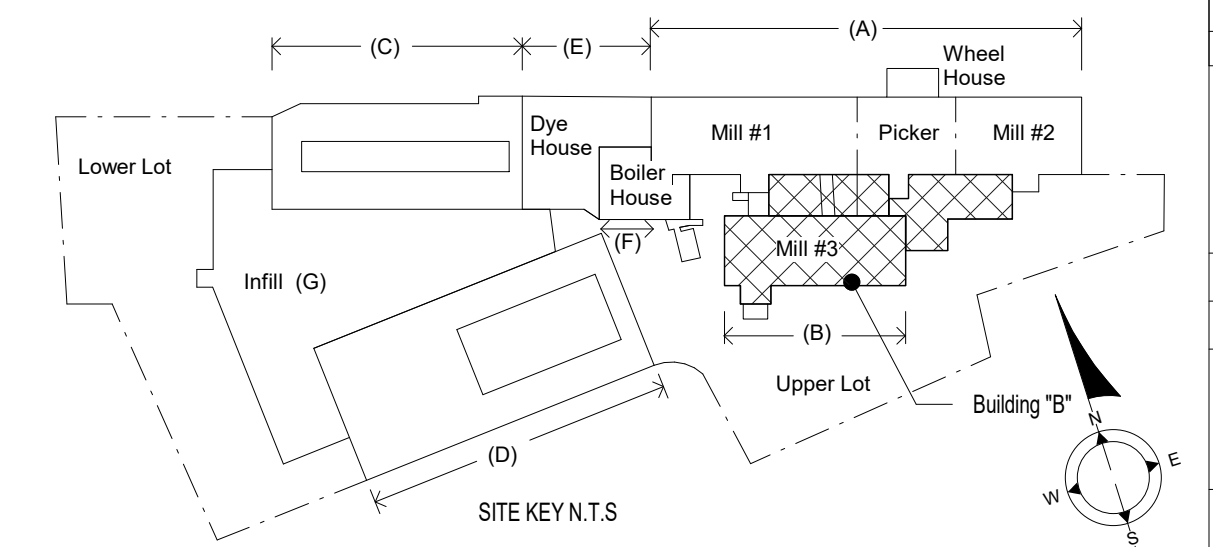


General Building Demolition Notes

1. Dashed Red Exterior building elements and in-fill additions to be demolished as noted.
2. All existing interior non structural partitions are to be demolished unless noted otherwise.
3. Any structural partitions are to be inspected prior to removal.
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6. Window TAG's with a "*" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.

Notes for Historical Building Element (HBE)

1. **Fire Doors:**
Original sliding gravity fire doors are to be fixed in a open position. When existing location is infeasible an alternative location will be proposed pending approvals. Any track hardware is to remain fixed in place.
2. **Flooring:**
a. Pending inspection existing hard wood flooring areas considered salvageable are to be refinished in place.
b. When large areas of existing flooring is found to be beyond salvage, any decayed wood will be removed and a light weight concrete topping will be applied and covered by new wood flooring similar to original species pending approvals.
3. **Masonry Walls, Structural Beams and Columns:**
a. Interior exposed brick will remain unpainted as-is. All common areas will be painted pending color approval.
b. Beams and Columns will remain unpainted and exposed as-is. All common areas will be painted pending color approval.
4. **Windows and exterior masonry openings:**
a. All existing windows deemed beyond repair will be replaced with appropriate style to match originals pending approvals.
b. Existing window openings at grade that have been modified to a passage way or door will be retrofitted with a window and/or door assembly pending approvals.
c. Tower #2 existing freight elevator will be converted to dwelling space. New window openings will be created at the south facing wall. Style and size pending approvals.
d. Tower #4 modern freight elevator shaft is to be completely removed. The remaining elevator door opening will be replaced with french style doors and inset Juliet style balcony steel guard rails. Level 1 lobby door will be converted to original window.
5. **Existing Fire Escape:**
a. All historic fire escape ladders are to remain in place. wood planks at landings are to be removed.
b. Modern fire escape at building A is to be partially repurposed by removing stair and retaining the landings to be used as dwelling balconies. Doors at this location will be replaced with single french style pending approvals.
c. Modern fire escape at building A single story loading dock #1 is to be completely removed.
d. Modern fire escape at building B south face is to be completely removed.



CHINBURG
PROPERTIES
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Chinburg Properties
3 Pembroke Way
Newmarket, NH 03857
Project Information:

Steven Mill Redevelopment
20 Canal St
Franklin, NH, 03235

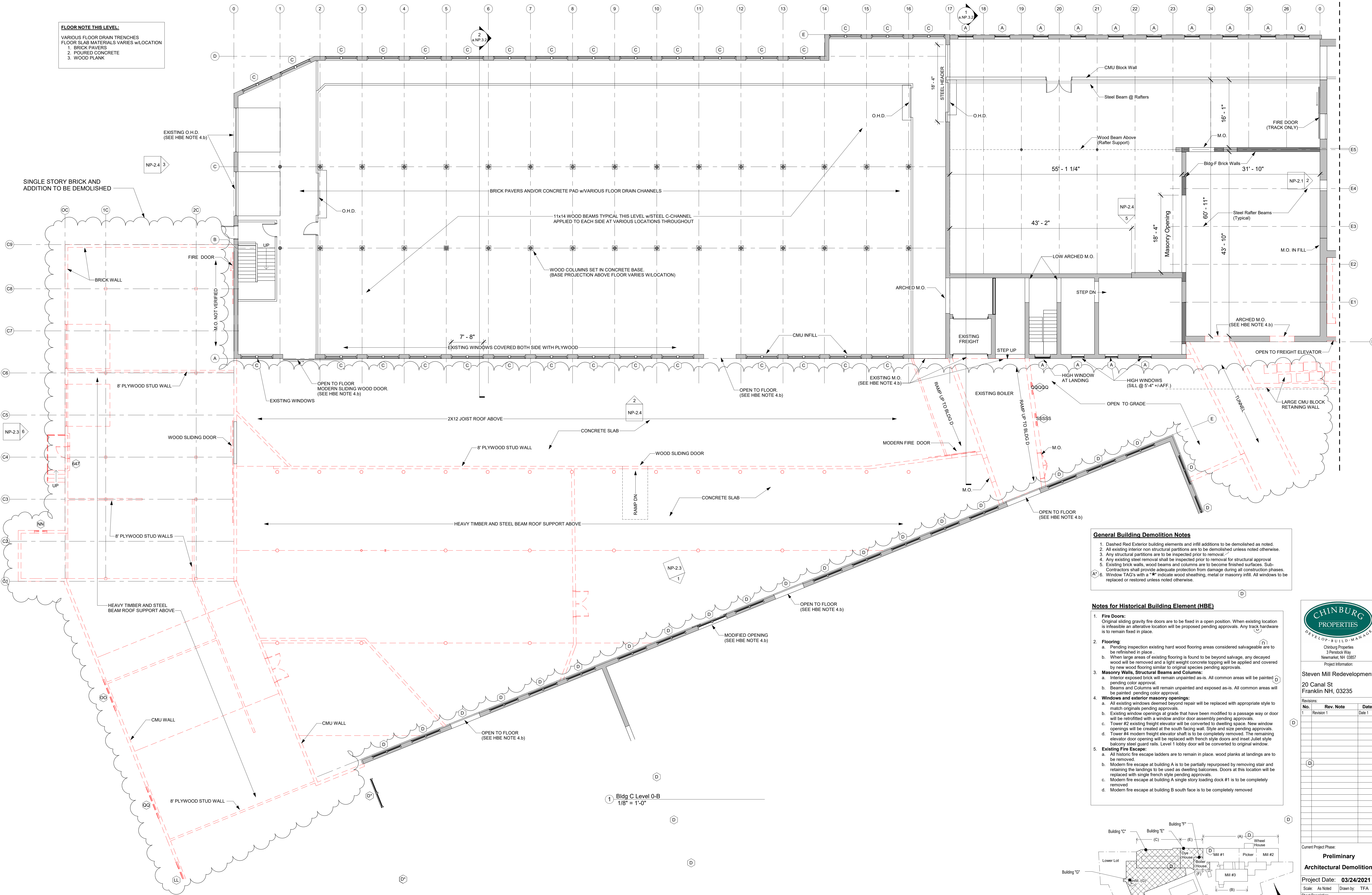
Revisions:	No.	Rev. Note	Date
1	Revision 1		Date 1

Current Project Phase:
Preliminary Architectural Demolition

Project Date: **03/24/2021**
Scale: As Noted Drawn by: TFA
Sheet Description:
BLDG-B All Floors 1-4

Sheet No:
b.NP.1.0

FLOOR NOTE THIS LEVEL:
VARIOUS FLOOR DRAIN TRENCHES
FLOOR SLAB MATERIALS VARIES w/LOCATION
1. BRICK PAVERS
2. POURED CONCRETE
3. WOOD PLANK

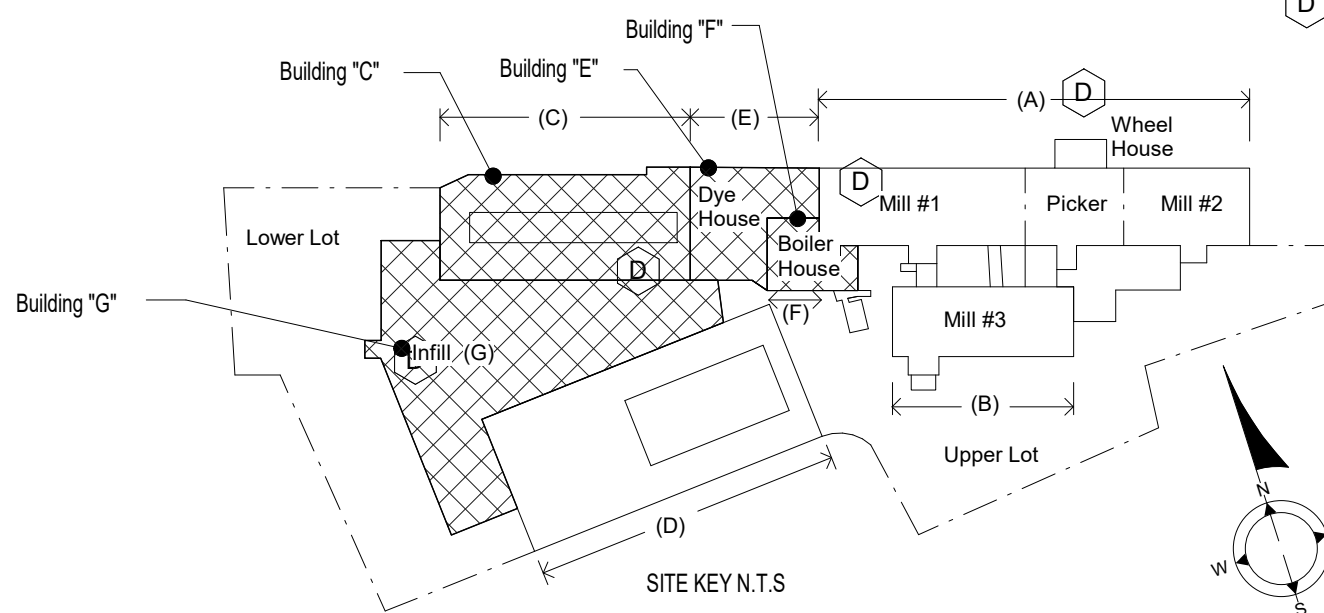


General Building Demolition Notes

- Dashed Red Exterior building elements and infill additions to be demolished as noted.
- All existing interior non structural partitions are to be demolished unless noted otherwise.
- Any structural partitions are to be inspected prior to removal.
- Any existing steel removal shall be inspected prior to removal for structural approval.
- Existing brick walls, wood beams and columns are to become finished surfaces. Sub Contractors shall provide adequate protection from damage during all construction phases.
- Window TAG's with a "★" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.

Notes for Historical Building Element (HBE)

- Fire Doors:**
Original sliding gravity fire doors are to be fixed in an open position. When existing location is infeasible an alternative location will be proposed pending approvals. Any track hardware is to remain fixed in place.
- Flooring:**
a. Pending inspection existing hard wood flooring areas considered salvageable are to be refinished in place.
b. When large areas of existing flooring is found to be beyond salvage, any decayed wood will be removed and a light weight concrete topping will be applied and covered by new wood flooring similar to original species pending approvals.
- Masonry Walls, Structural Beams and Columns:**
a. Interior exposed brick will remain unpainted as-is. All common areas will be painted pending color approval.
b. Beams and Columns will remain unpainted and exposed as-is. All common areas will be painted pending color approval.
- Windows and exterior masonry openings:**
a. All existing windows deemed beyond repair will be replaced with appropriate style to match originals pending approvals.
b. Existing window openings at grade that have been modified to a passage way or door will be retrofitted with a window and/or door assembly pending approvals.
c. Tower #2 existing freight elevator will be converted to dwelling space. New window openings will be created at the south facing wall. Style and size pending approvals.
d. Tower #4 modern freight elevator shaft is to be completely removed. The remaining elevator door opening will be replaced with french style doors and inset Juliet style balcony steel guard rails. Level 1 lobby door will be converted to original window.
- Existing Fire Escape:**
a. All historic fire escape ladders are to remain in place. wood planks at landings are to be removed.
b. Modern fire escape at building A is to be partially repurposed by removing stair and retaining the landings to be used as dwelling balconies. Doors at this location will be replaced with single french style pending approvals.
c. Modern fire escape at building A single story loading dock #1 is to be completely removed.
d. Modern fire escape at building B south face is to be completely removed.



CHINBURG
PROPERTIES

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Chinburg Properties
3 Pennock Way
Newmarket, NH 03857
Project Information:

Steven Mill Redevelopment
20 Canal St
Franklin, NH, 03235

Revisions:

No.	Rev. Note	Date
1	Revision 1	Date 1

Current Project Phase:
**Preliminary
Architectural Demolition**

Project Date: 03/24/2021
Scale: As Noted
Sheet Description:
BLDG-C Lower Level

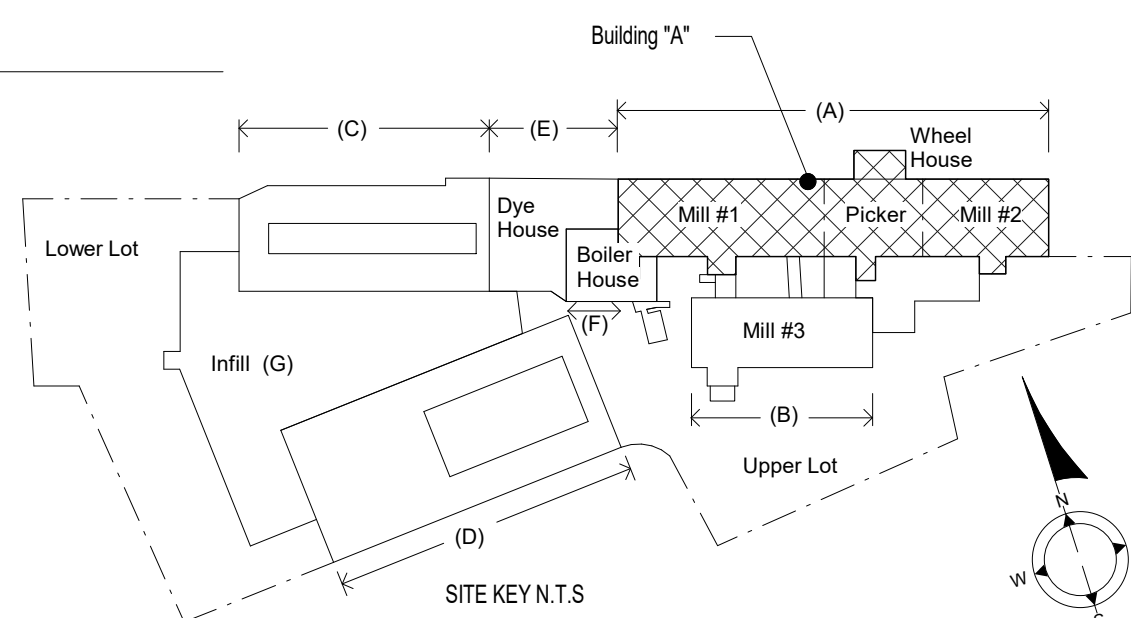
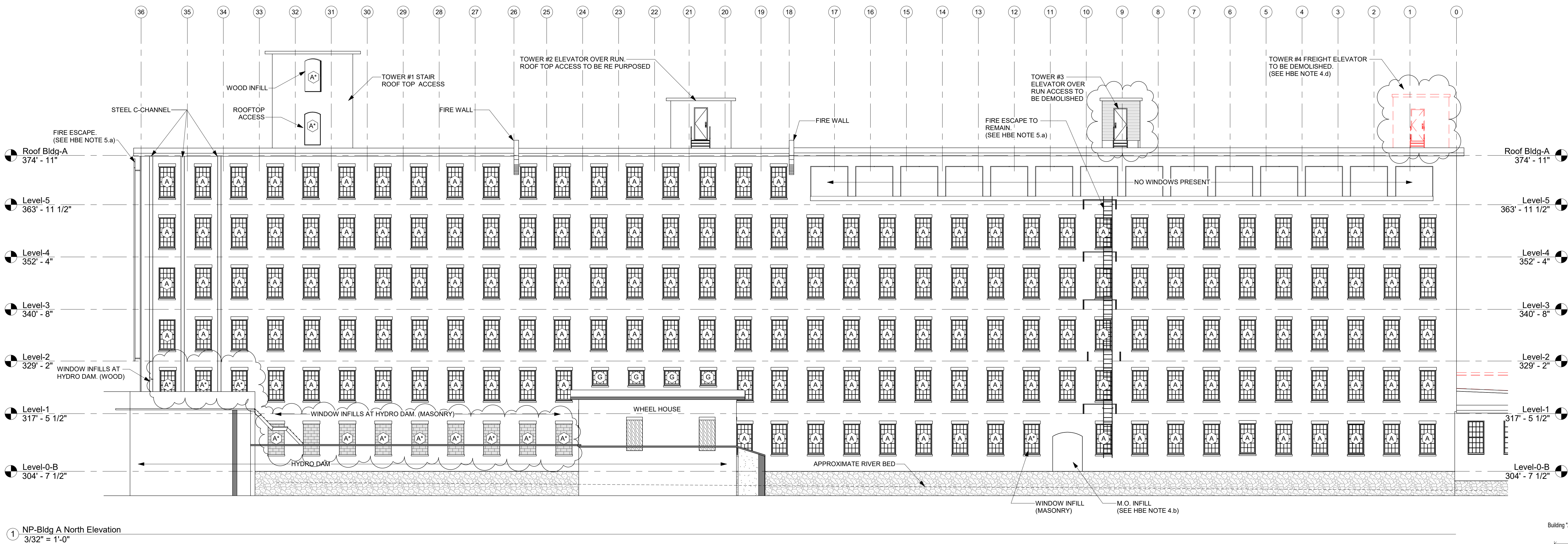
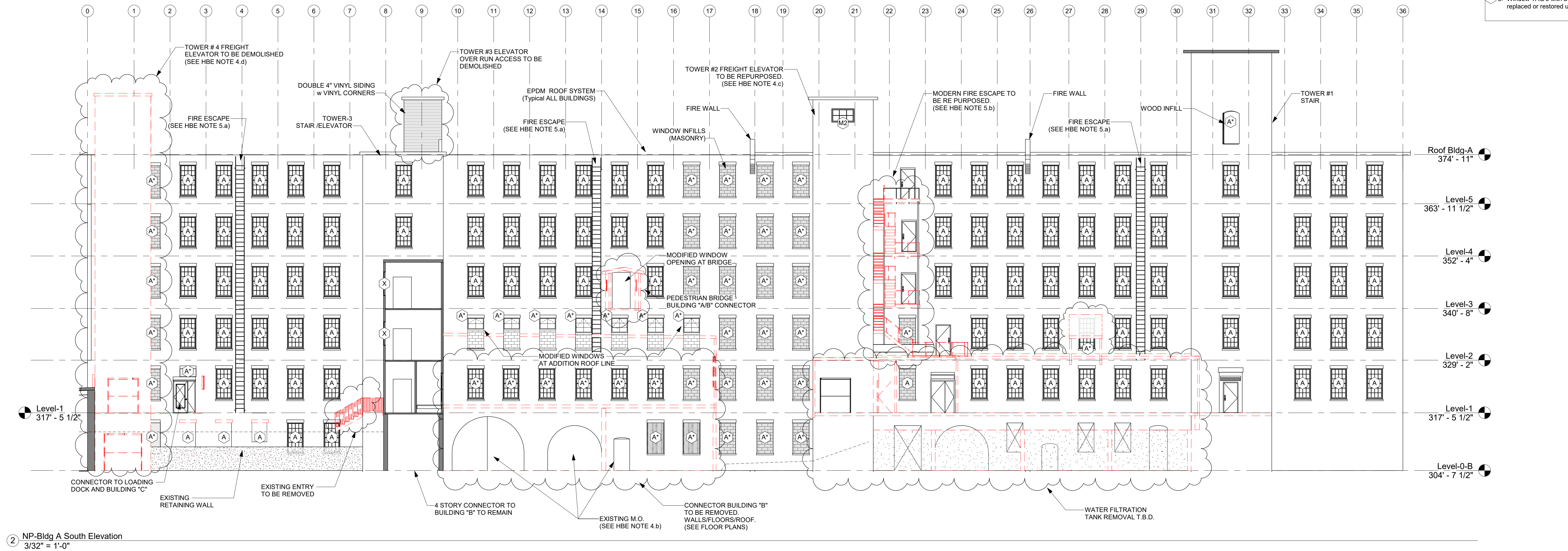
Sheet No:
c.NP1.0

General Building Demolition Notes

1. Dashed Red Exterior building elements and infill additions to be demolished as noted.
2. All existing interior non structural partitions are to be demolished unless noted otherwise.
3. Any structural partitions are to be inspected prior to removal.
4. Any existing steel removal shall be inspected prior to removal for structural approval.
5. Existing brick walls, wood beams and columns are to become finished surfaces. Sub-Contractors shall provide adequate protection from damage during all construction phases.
6. Window TAG's with a "★" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.

NOTES FOR HISTORICAL BUILDING ELEMENT (HBE)

1. Fire Doors:
Original sliding gravity fire doors are to be fixed in an open position. When existing location is infeasible an alternative location will be proposed pending approvals. Any track hardware is to remain fixed in place.
2. Flooring:
a. Pending inspection existing hard wood flooring areas considered salvageable are to be refinished in place.
b. When large areas of existing flooring is found to be beyond salvage, any decayed wood will be removed and a light weight concrete topping will be applied and covered by new wood flooring similar to original species pending approvals.
3. Masonry Walls, Structural Beams and Columns:
a. Interior exposed brick will remain unpainted as-is. All common areas will be painted pending color approval.
b. Beams and Columns will remain unpainted and exposed as-is. All common areas will be painted pending color approval.
4. Windows and exterior masonry openings:
a. All existing windows deemed beyond repair will be replaced with appropriate style to match originals pending approvals.
b. Existing window openings at grade that have been modified to a passage way or door will be retrofitted with a window and/or door assembly pending approvals.
c. Tower #2 existing freight elevator will be converted to dwelling space. New window openings will be created at the south facing wall. Style and size pending approvals.
d. Tower #4 modern freight elevator shaft is to be completely removed. The remaining elevator door opening will be replaced with french style doors and inset Juliet style balcony steel guard rails.
5. Existing Fire Escape:
a. All historic fire escape ladders are to remain in place. wood planks at landings are to be removed.
b. Modern fire escape at building A is to be partially repurposed by removing stair and retaining the landings to be used as dwelling balconies. Doors at this location will be replaced with single french style pending approvals.
c. Modern fire escape at building A single story loading dock #1 is to be completely removed.
d. Modern fire escape at building B south face is to be completely removed.

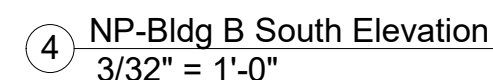
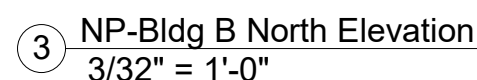
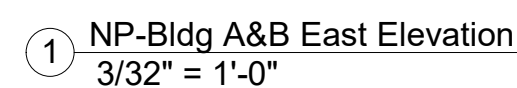
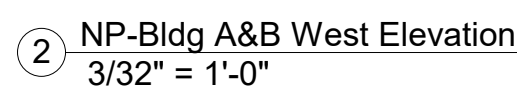


Steven Mill Redevelopment
20 Canal St
Franklin, NH, 03235

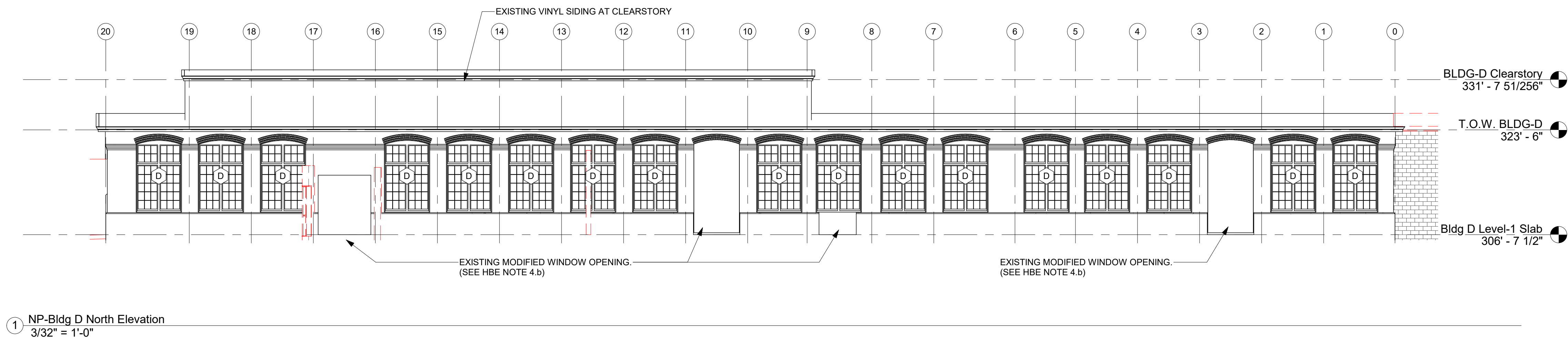
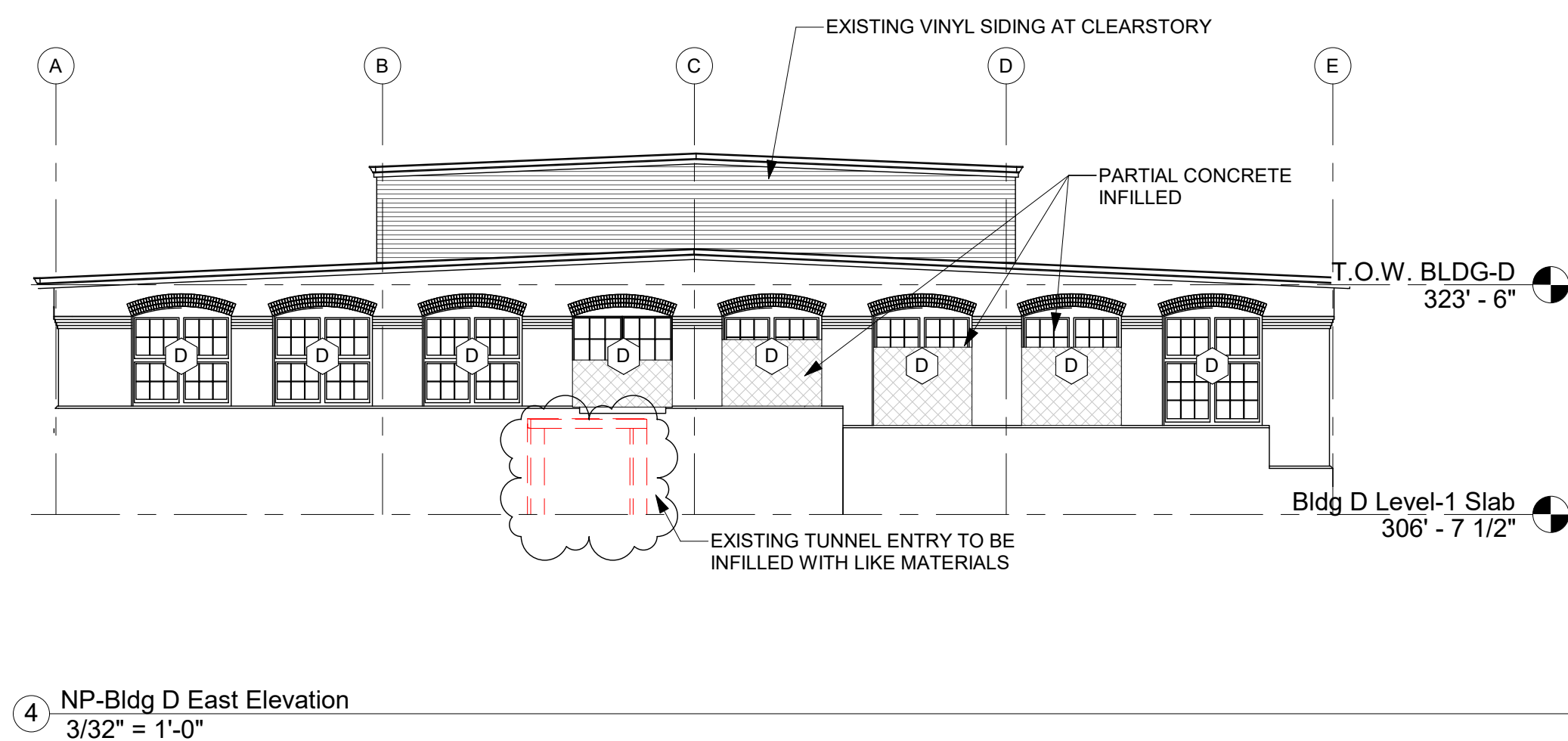
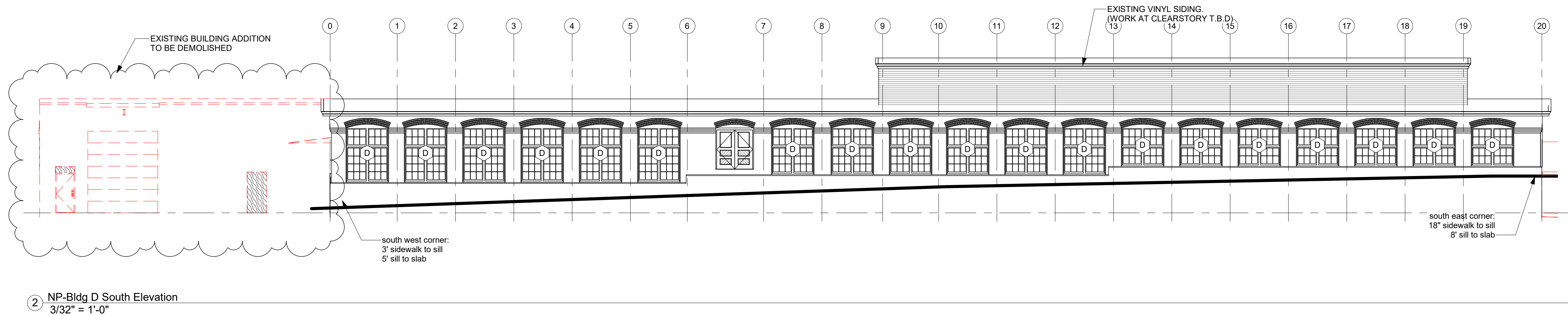
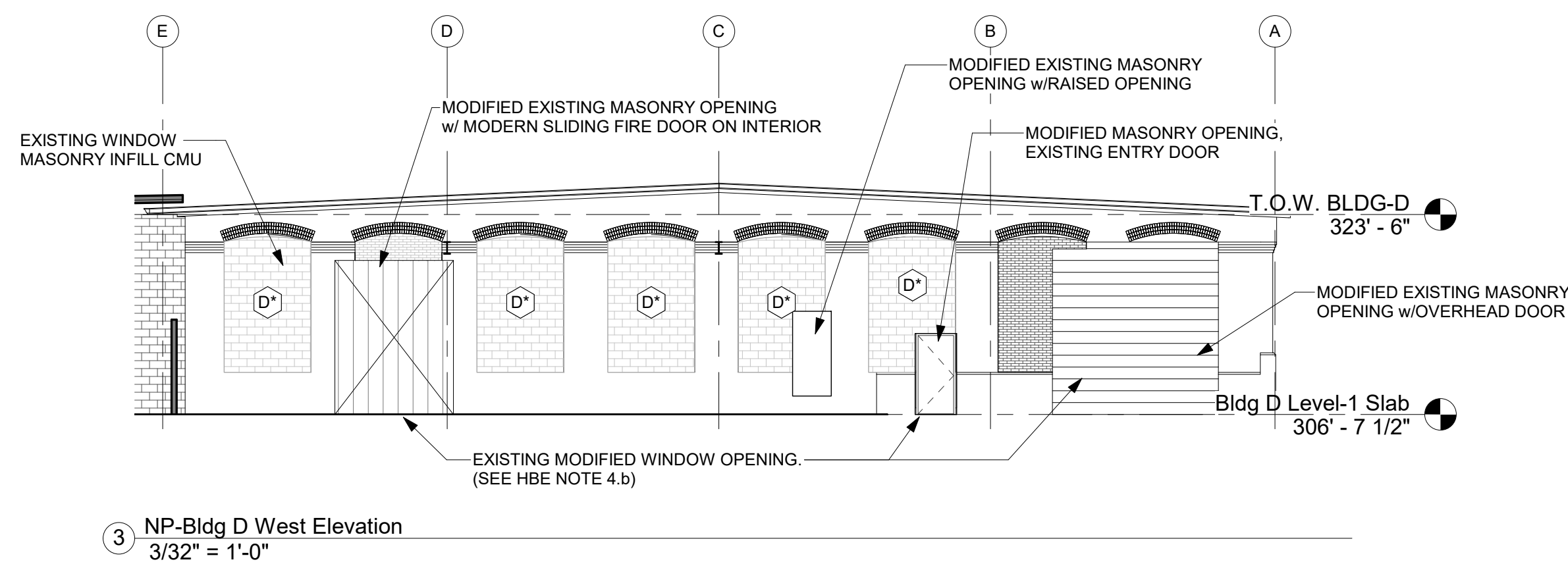
Revisions:	No.	Rev. Note	Date
1	Revision 1		Date 1

Current Project Phase:
Preliminary
Architectural Demolition
Project Date: 03/24/2021
Scale: As Noted Drawn by: TFA
Sheet Description:
NP-Bldg-A North/South

Sheet No:
NP-2.0

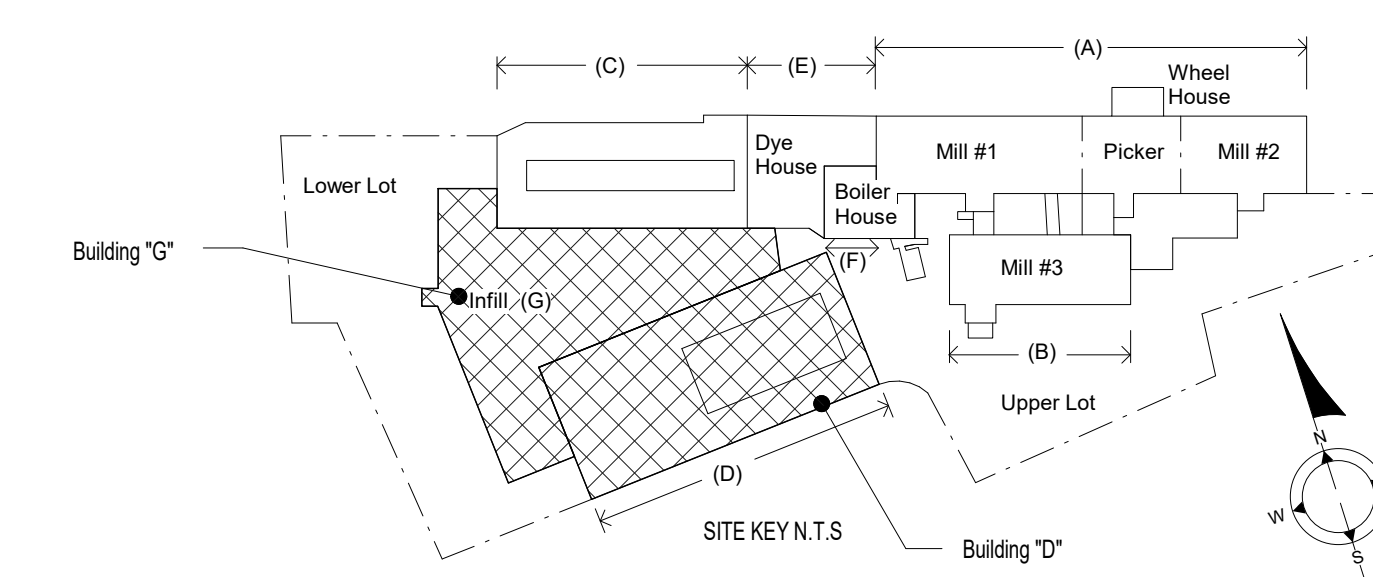
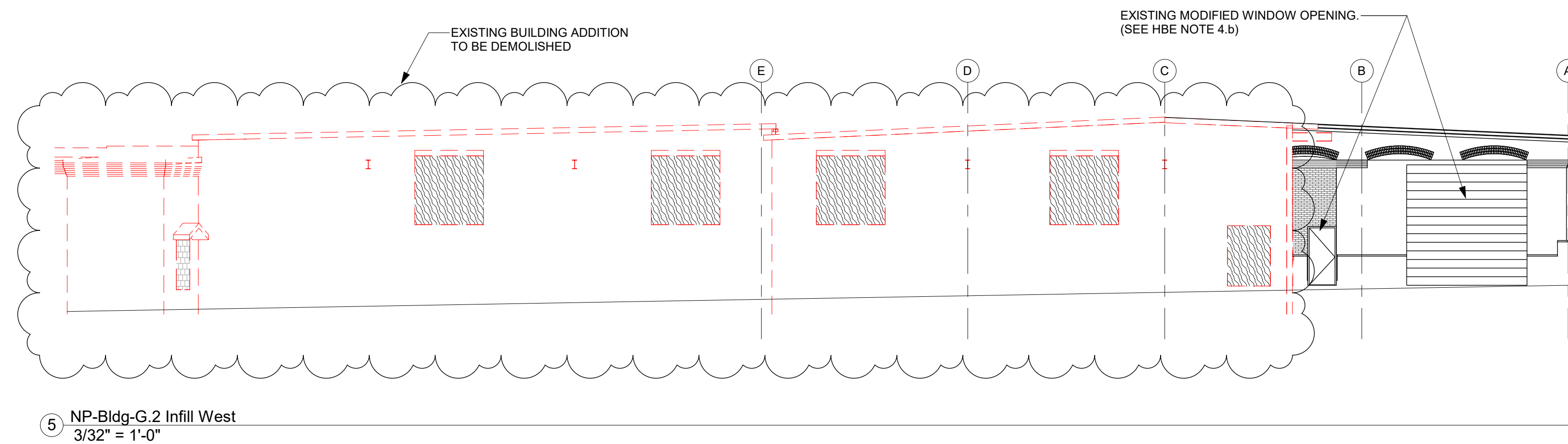
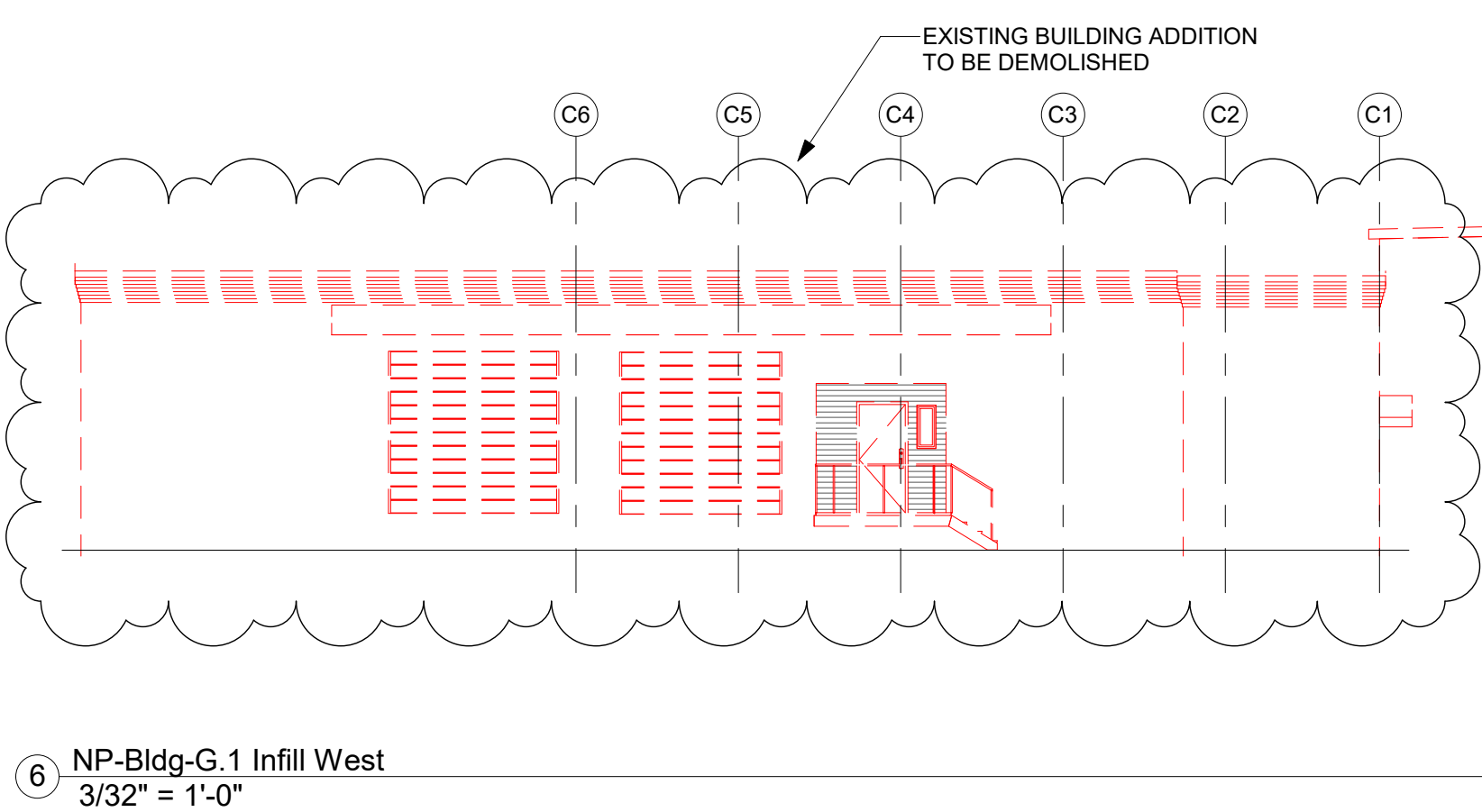


NP-2.1



- General Building Demolition Notes**
- Dashed Red Exterior building elements and infill additions to be demolished as noted.
 - All existing interior non structural partitions are to be demolished unless noted otherwise.
 - Any structural partitions are to be inspected prior to removal.
 - Any existing steel removal shall be inspected prior to removal for structural approval.
 - Existing brick walls, wood beams and columns are to become finished surfaces. Sub-Contractors shall provide adequate protection from damage during all construction phases.
 - Window TAG's with a "★" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.

- NOTES FOR HISTORICAL BUILDING ELEMENT (HBE)**
- Fire Doors:**
Original sliding gravity fire doors are to be fixed in a open position. When existing location is infeasible an alternative location will be proposed pending approvals. Any track hardware is to remain fixed in place.
 - Flooring:**
a. Pending inspection existing hard wood flooring areas considered salvageable are to be refinished in place.
b. When large areas of existing flooring is found to be beyond salvage, any decayed wood will be removed and a light weight concrete topping will be applied and covered by new wood flooring similar to original species pending approvals.
 - Masonry Walls, Structural Beams and Columns:**
a. Interior exposed brick will remain unpainted as-is. All common areas will be painted pending color approval.
b. Beams and Columns will remain unpainted and exposed as-is. All common areas will be painted pending color approval.
 - Windows and exterior masonry openings:**
a. All existing windows deemed beyond repair will be replaced with appropriate style to match originals pending approvals.
b. Existing window openings at grade that have been modified to a passage way or door will be retrofitted with a window and/or door assembly pending approvals.
c. Tower #2 existing freight elevator will be converted to dwelling space. New window openings will be created at the south facing wall. Style and size pending approvals.
d. Tower #4 modern freight elevator shaft is to be completely removed. The remaining elevator door opening will be replaced with french style doors and inset Juliet style balcony steel guard rails.
 - Existing Fire Escape:**
a. All historic fire escape ladders are to remain in place, wood planks at landings are to be removed.
b. Modern fire escape at building A is to be partially repurposed by removing stair and retaining the landings to be used as dwelling balconies. Doors at this location will be replaced with single french style pending approvals.
c. Modern fire escape at building A single story loading dock #1 is to be completely removed.
d. Modern fire escape at building B south face is to be completely removed.



CHINBURG PROPERTIES
DEVELOP • BUILD • MANAGE

Chinburg Properties
3 Penstock Way
Newmarket, NH 03857
Project Information:

Steven Mill Redevelopment
20 Canal St
Franklin NH, 03235

No.	Rev. Note	Date
1	Revision 1	Date 1

Current Project Phase:
Preliminary Architectural Demolition

Project Date: 03/24/2021
Scale: As Noted Drawn by: TFA
Sheet Description:
NP-Bldg-D Elevation N/S/E/W
Sheet No:
NP-2.3

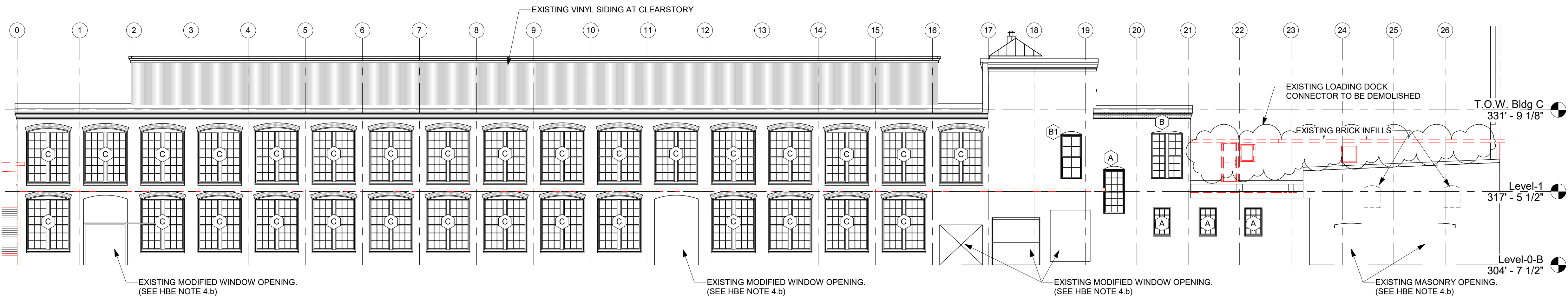
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General Building Demolition Notes

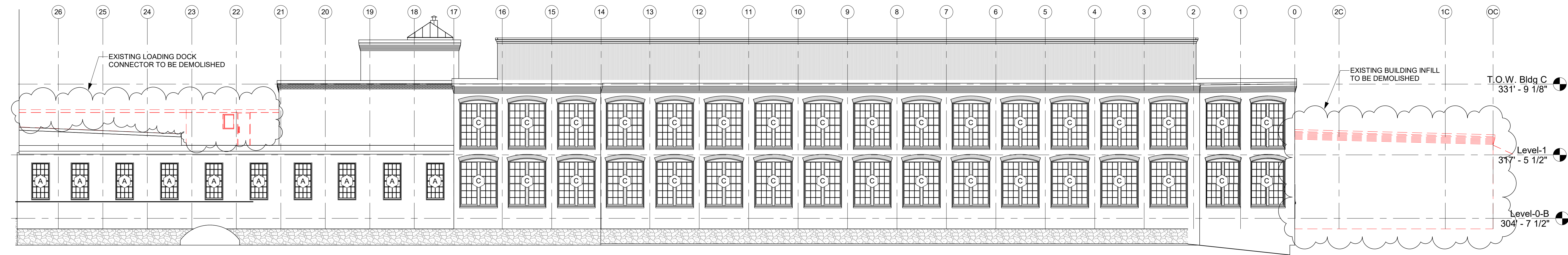
1. Dashed Red Exterior building elements and infill additions to be demolished as noted.
2. All existing interior non structural partitions are to be demolished unless noted otherwise.
3. Any structural partitions are to be inspected prior to removal.
4. Any existing steel removal shall be inspected prior to removal for structural approval.
5. Existing brick walls, wood beams and columns are to become finished surfaces. Sub-Contractors shall provide adequate protection from damage during all construction phases.
6. Window TAG's with a "*" indicate wood sheathing, metal or masonry infill. All windows to be replaced or restored unless noted otherwise.

NOTES FOR HISTORICAL BUILDING ELEMENT (HBE)

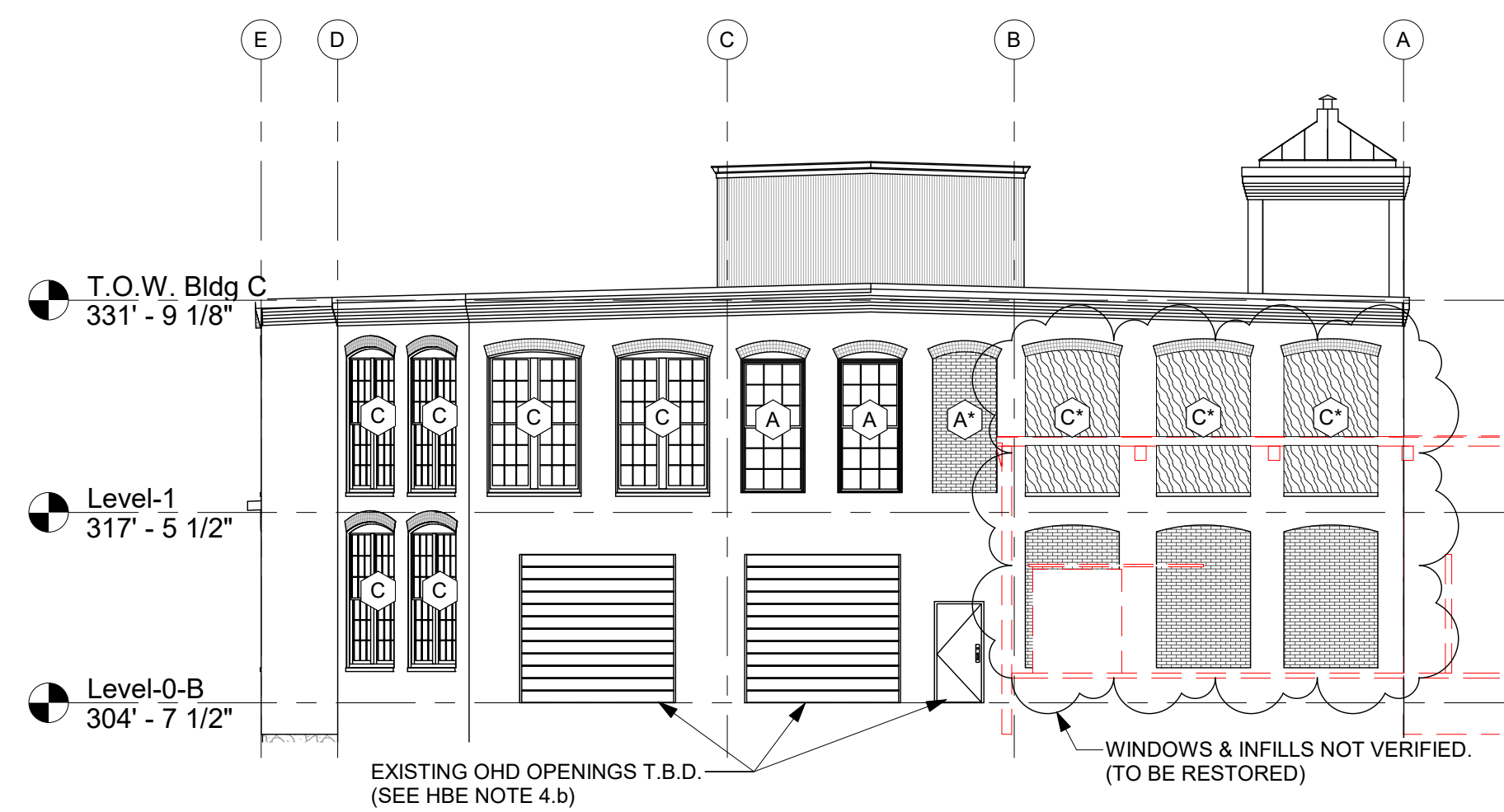
1. **Fire Doors:**
Original sliding gravity fire doors are to be fixed in a open position. When existing location is infeasible an alternative location will be proposed pending approvals. Any track hardware is to remain fixed in place.
2. **Flooring:**
a. Pending inspection existing hard wood flooring areas considered salvageable are to be refinished in place.
b. When large areas of existing flooring is found to be beyond salvage, any decayed wood will be removed and a light weight concrete topping will be applied and covered by new wood flooring similar to original species pending approvals.
3. **Masonry Walls, Structural Beams and Columns:**
a. Interior exposed brick will remain unpainted as-is. All common areas will be painted pending color approval.
b. Beams and Columns will remain unpainted and exposed as-is. All common areas will be painted pending color approval.
4. **Windows and exterior masonry openings:**
a. All existing windows deemed beyond repair will be replaced with appropriate style to match originals pending approvals.
b. Existing window openings at grade that have been modified to a passage way or door will be retrofitted with a window and/or door assembly pending approvals.
c. Tower #2 existing freight elevator will be converted to dwelling space. New window openings will be created at the south facing wall. Style and size pending approvals.
d. Tower #4 modern freight elevator shaft is to be completely removed. The remaining elevator door opening will be replaced with french style doors and inset Juliet style balcony steel guard rails.
5. **Existing Fire Escape:**
a. All historic fire escape ladders are to remain in place. wood planks at landings are to be removed.
b. Modern fire escape at building A is to be partially repurposed by removing stair and retaining the landings to be used as dwelling balconies. Doors at this location will be replaced with single french style pending approvals.
c. Modern fire escape at building A single story loading dock #1 is to be completely removed.
d. Modern fire escape at building B south face is to be completely removed.



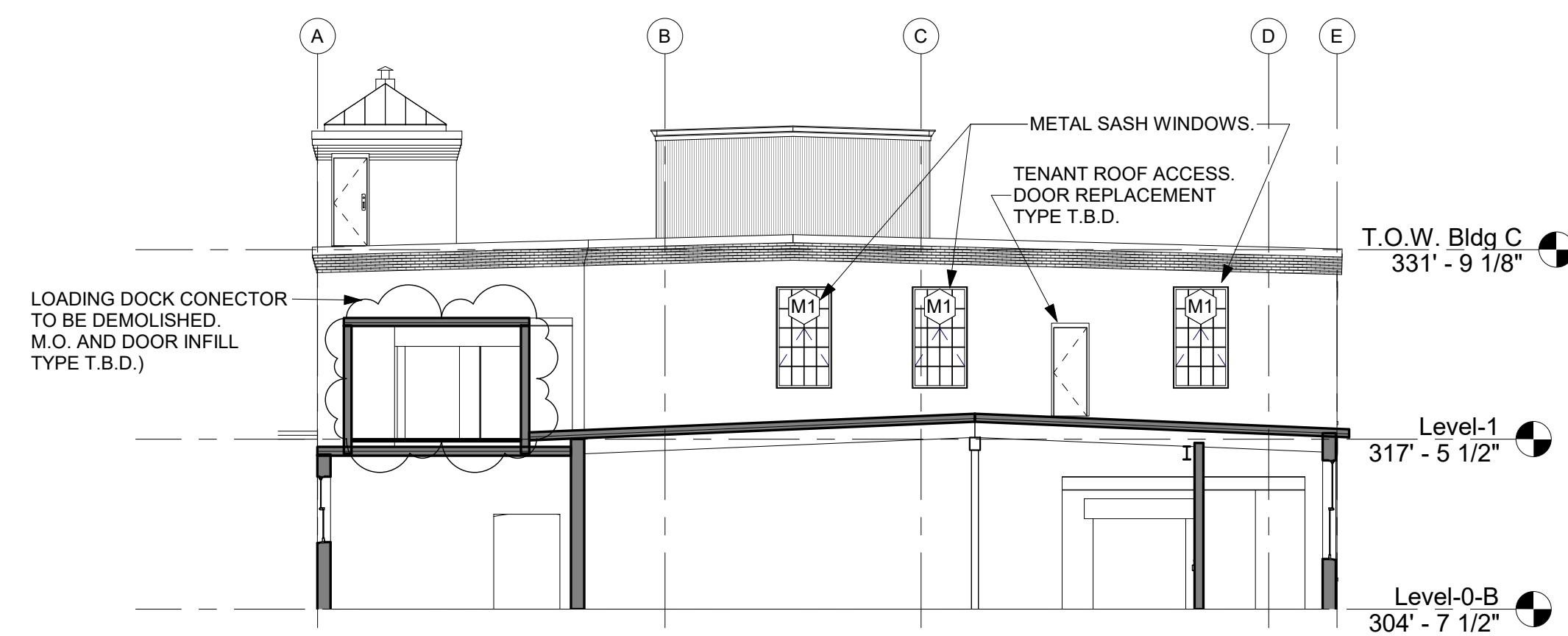
2 NP-Bldg E,F&C South Elevation
3/32" = 1'-0"



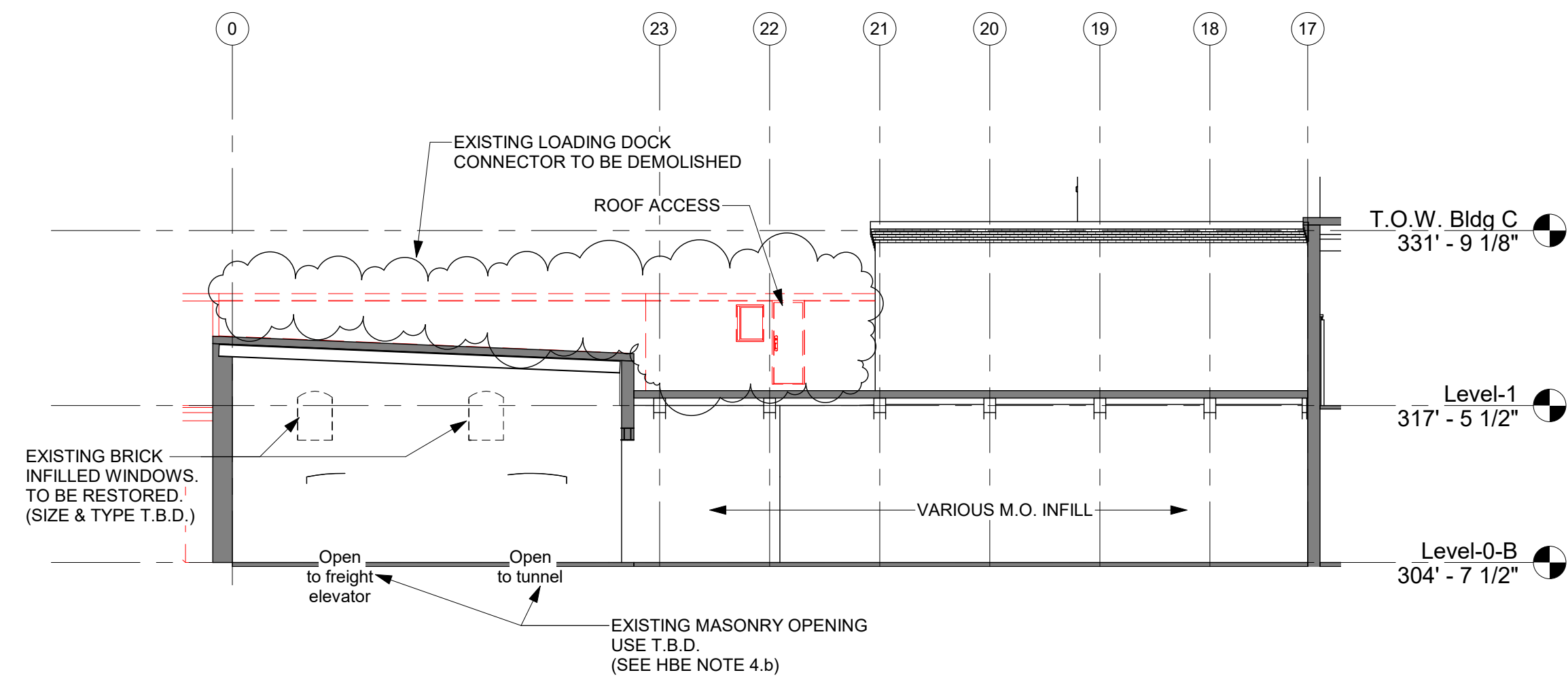
1 NP-Bldg E,F&C North Elevation
3/32" = 1'-0"



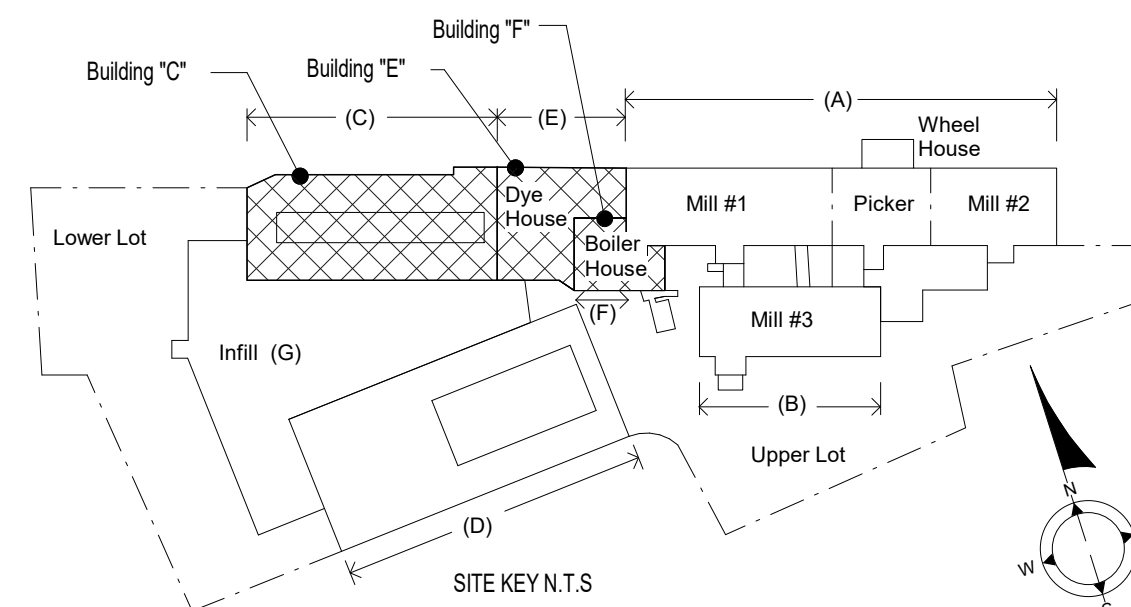
3 NP-Bldg C West Elevation
3/32" = 1'-0"



4 NP-Bldg C East Elevation
3/32" = 1'-0"



5 NP-Bldg F Interior View of South Wall
3/32" = 1'-0"



CHINBURG
PROPERTIES

DEVELOP • BUILD • MANAGE

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3 Pembroke Way
Newmarket, NH 03857
Project Information:

Steven Mill Redevelopment

20 Canal St
Franklin NH, 03235

Revisions:

No.	Rev. Note	Date
1	Revision 1	Date 1

Current Project Phase:

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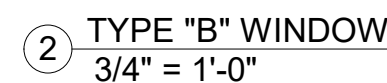
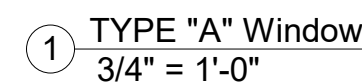
Project Date: 03/24/2021

Scale: As Noted Drawn by: TFA

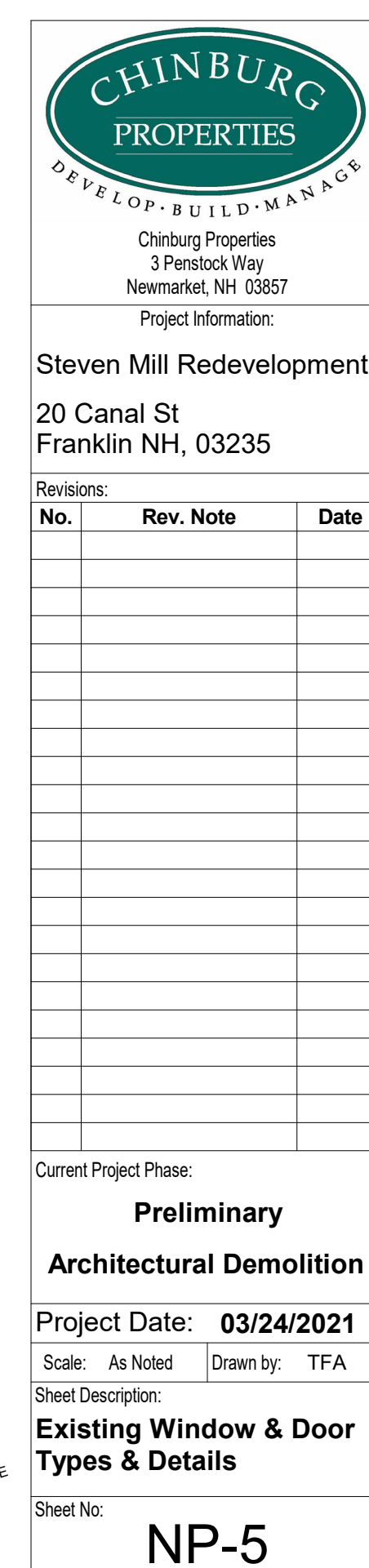
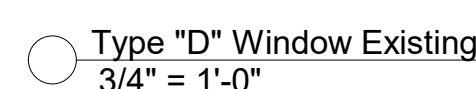
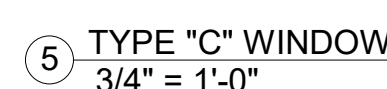
Sheet Description:
NP-Bldg E,F&C Elevation
N/S/E/W

Sheet No:

NP-2.4



⑦ TYPE "E" WINDOW
3/4" = 1'-0"



ATTACHMENT [4]
WINDOW PRODUCT DATA

SERIES 400

Double Hung, Rated Heavy Commercial

Thermally Improved Prime Replacement Windows



DETAILS

Utilizes complete Thermal Break Sash and Master Frame for optimal insulating value

Features 1" clear insulating glass made with Super Spacer®, the world's only TrueWARM® edge technology

Deep double-step Hospital Sill provides superior ventilating and water performance

Marine Glazing protects glass edge and assures easy repair

Anti-Creep Lock on top sash creates stability for worry-free operation

Telescoping Sash Engineering provides optimum air and water protection

Special Tubular Sash Design gives added strength and long life

Block and Tackle Balances are standard

Custodial Hardware assures safe operation (Ideal for schools and institutional use)



UNIVERSAL
Window and Door

Thermally Improved Prime Replacement Windows Rated Heavy Commercial

Performance

DC HC-45 @ 60" x 96"

DH HC-60 @ 48" x 60"

Air Infiltration @ 1.57 psf: .10

Water Resistance @ 11.00 psf: No Entry

Uniform Structural Load
67.5 psf @ 66" x 84"
97.5 psf @ 48" x 72"

Operating Force: 42 lbs MAX.

Condensation Resistance Factor: 46

Options

Glass:

Low-E, Soft-Coat, Solar Control, Argon, Tempered, Obscure, Wire or Spandrel

Balances:

Ultralift, Superlift, Block and Tackle

Wrapping Systems:

Exterior Panning Systems
Interior Trim Systems
Receptor Systems

Flange Frame

Head Expander and Sill Angle

Finishes:

Special finishes and custom architectural finishes are available

Child Guard and Vandal Screens

Internal, External and Interior Grids



Specifications

General: All aluminum windows furnished as shown in the plans shall conform to the specifications in AAMA/NWWDA 101/IS2-97. They are furnished with all necessary hardware, trim and miscellaneous items as specified.

Material: Aluminum used is commercial quality 6063-T5 alloy with a minimum ultimate tensile strength of 22,000 psi, free of defects impairing strength and durability, and with standard wall tolerances as defined in the Architectural Aluminum Manufacturer's Association Master Specifications for aluminum windows. All members of the frame and sash shall be split and bridged with a continuous structural thermal break of high density, low conductivity urethane insulation cavity fill, with removal of the extrusion cavity bridging aluminum after curing.

Construction and Operation: Windows are assembled to perform as herein specified, to assure a neat appearance and weather tight construction. All sash and frame members are firmly joined with mechanical joints using stainless steel screws into integral screw ports. Each frame corner joint is secured with two screws. Sash corner joints are telescoped for rigidity and appearance. Meeting rails have mechanical interlocks, and the horizontal rails of the upper and lower sashes have extruded handles for operating the sashes. When windows are not being expressly used for ventilation, they must be fully closed and locked. Failure to do so may result in personal injury or damage to property. All sashes are tilt type for easy cleaning. Top sashes have "Anti-Creep" latches.

Glazing: Sashes are glazed with 1" sealed insulated glass, using "Float Glass" quality, and constructed to allow field replacement of glazing material. Glazing is "Marine" type wrap around vinyl gasket, without the use of removable beads or glazing compound. All insulated glass conforms to, and is in compliance with, ASTM E 773-83 AN E 744-74A- Class CBA.

Spacer: Edgetech's Super Spacer® contains NO-Metal and is one of the most thermatically efficient IG spacers available today. Super Spacer® reduces sealant stress while improving heat flow resistance, glass surface temperature, condensation resistance and sound absorption. Super Spacer® is the only polymer foam, NO-Metal warm edge spacer.

Finish: The exposed surfaces of all aluminum members shall be clean and free of serious blemishes, scratches or tool marks. Standard finish is electrostatically applied acrylic enamel with a 5-stage chromate under-coating conforming to AAMA 603.8 standard. Standard colors are white, black, bronze, green and beige (see color chart). Other architect specified finishes may be available at additional cost.

Hardware: All fasteners, screws and other miscellaneous fastening devices shall be of non-corrosive material compatible with aluminum. Balances of appropriate size and capacity to hold each sash stationary at open position are factory installed. They meet AAMA 902.2 specification, and are easily replaceable after the window is installed. Block and Tackle balances are standard. Ultra-Lift and Spiral balances are available at an additional cost.